

DEVELOPMENT PRELIMINARY SITE PLAN

BRADDOCK GATEWAY - PHASE II BUILDING 2

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA =	3.12	AC	136,124	SF
TOTAL AREA OF TAX PARCEL =	6.70	AC	291,962	SF
TOTAL EXISTING IMPERVIOUS AREA =	3.38	AC	147,303	SF
TOTAL PROPOSED IMPERVIOUS AREA =	2.74	AC	119,316	SF
TOTAL DISTURBED AREA =	3.27	AC	142,582	SF

ZONING TABULATIONS

ADDRESS	MAP NUMBER	LOT SIZE	ZONE	USE
1200 N. FAYETTE ST	044.03-06-03.L1	115,098 S.F.	CDD #15	OFFICE/COMM/WHSE
1070 N. FAYETTE ST	044.03-06-03	33,402 S.F.	CDD #15	VACANT LAND COMMERC.
1100 N. FAYETTE ST	044.03-06-03.L2	100,000 S.F.	CDD #15	OFFICE BUILDINGS
1219 FIRST STREET	054.01-02-04	43,462 S.F.	-	RESIDENTIAL

EXISTING ZONE:	CDD #15
PROPOSED ZONE:	CDD #15
EXISTING USE:	OFFICE/COMM. WHSE
EXISTING BUILDING:	18,000 S.F.
PROPOSED USE:	RESIDENTIAL/RETAIL (MULTIFAMILY - GROUND FLOOR RETAIL)

MAXIMUM BUILDING HEIGHT:	EXISTING: 50'
	BUILDING 2: VARIED W/ MAXIMUM OF 85'

BUILDING TABULATIONS:

Phase	Retail		Residential		Parking (Above Grade Covered)		Total		Open Space
	Gross	Net	Gross	Net	Gross	Net	Gross	Net	
Phase 1 - Building 1 (approved in DSUP 2011-0002)	1,509	1,509	257,454	209,735			258,963	211,244	13,700
Phase 2 - Building 2 (Proposed)	8,169	8,169	258,758	232,882	16,433	16,433	283,360	257,484	
Phase 3 - Building 3 (Future - estimated)	8,242	8,242	316,894	285,205			325,136	293,447	
Total		17,920		727,822				762,175	
Total Approved per CDD #15 and BMNP page 97									
									770,000

Building 2A & 2B Statistics Breakdown										
Bldg 2A&2B	Floor Area		Number of Units		Parking Proposed					
	Gross Floor Area (gsf)	Net Floor Area (nsf)	1 BR (Studio, 1BR, 1BR+Den)	2BR	Parking Required (Resid.)***	Parking Required (Retail)	Proposed Standard Parking	Proposed Compact Parking	Proposed Handicapped Parking	Underground Garage (gsf)
Residential*	275,191	249,315	206	52	224		59	157	9	Lower Level
Retail*	8,169	8,169				21	14	6	1	Upper Level
Total:	283,360	257,484	Total: 258		Total Required: 245		Total Proposed: 246		246	Total: 76,255

*[8169 sf Retail, a 144 Seat Restaurant, or Some Combination Thereof

**Residential area includes above-grade parking garage area

***Per Multi-Family Parking Standards of Zoning Ordinance

Square Footage Of Park: 28,511 per Retail Parking Braddock Metro Plan

Roof Top Open Space: 5,170 sf

TOTAL PARKING PROVIDED:
BUILDING 2 = 246 SPACES

1 LOADING SPACES REQUIRED - 1 LOADING SPACES PROVIDED

OPEN SPACE REQUIRED: 47,643 SF OR 1.09 AC. (35%)
OPEN SPACE PROVIDED: 55,476 SF OR 1.15 AC. (37%)

AVERAGE FINISH GRADE: BUILDING 2: 45.71

LOT AREA REQUIRED: N/A
FRONTAGE REQUIRED: N/A
SETBACKS REQUIRED: N/A

TRIP GENERATION

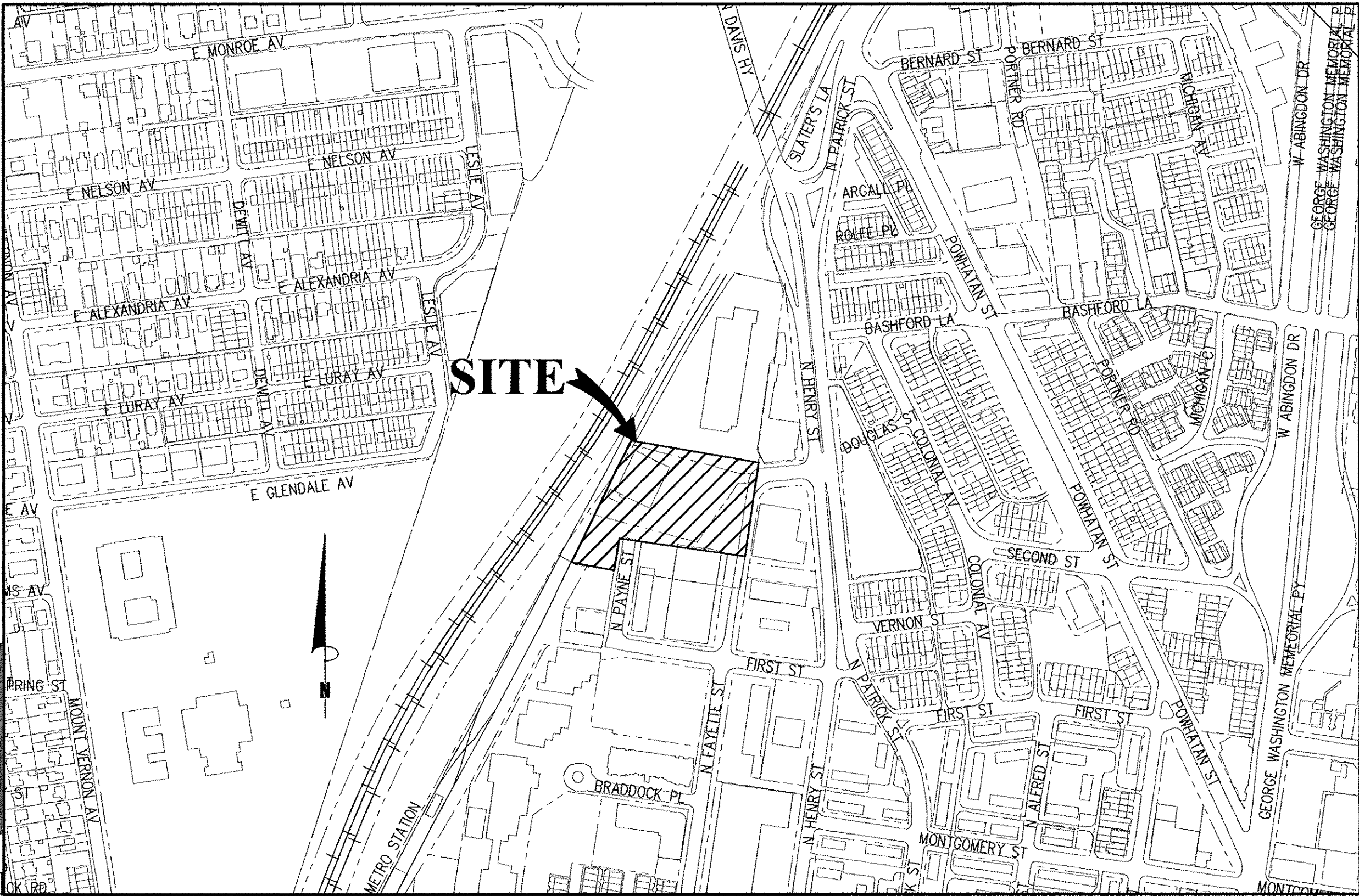
EXISTING TRIP GENERATION:
VACANT WAREHOUSE (0)

PROPOSED TRIP GENERATION:
RETAIL: 42.92 TRIPS/DAY/1,000 SF*
8,150 SF = 350 TRIPS/DAY*
MULTI-FAMILY BUILDING: 5.10 TRIPS/UNIT/DAY*
258 UNITS = 1,316 TRIPS/DAY*
TOTAL = 1,666 TRIPS/DAY*

*BASED ON ITE TRIP GENERATION MANUAL

COMPLETE STREET TABULATIONS

	New	Upgraded
Crosswalks (number)		
Standard	3	4
High Visibility	-	-
Curb Ramps	8	-
Sidewalks (LF)	1250	-
Bicycle Parking (number spaces)	92	-
Public/Visitor	6	-
Private/Garage	20	-
Bicycle Paths (LF)	-	-
Pedestrian Signals	1	-



VICINITY MAP

SCALE : 1" = 300'

PROJECT DESCRIPTION NARRATIVE

THIS PROJECT WILL BE A DSUP THAT IS PART OF THE CDD #15 PLAN FOR A RESIDENTIAL AND FIRST FLOOR RETAIL BUILDING WITH PARKING PROVIDED ON TWO LEVELS BELOW GROUND AND ONE LEVEL LIMITED SURFACE PARKING FOR RETAIL USE. IT WILL INCLUDE THE 2/3 ACRE PUBLICLY ACCESSIBLE PARK.

LEED GREEN NOTE

THE BUILDING WILL CONFORM WITH THE CITY'S GREEN BUILDING POLICY.

EXISTING/PROPOSED SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- 1.) CCD #15
- 2.) DSUP
- 3.) SUP FOR MORE THAN 1 MECHANICAL PENTHOUSE
- 4.) MODIFICATION FOR A LOADING SPACE REDUCTION

ATTORNEY

HART, GIBBS, PIERCE, & KARP, P.C.
700 N. FAIRFAX STREET, SUITE 600
ALEXANDRIA, VA 22314
(703) 836-5767
ATTN: MARY CATHERINE GIBBS

CIVIL ENGINEER

BOWMAN CONSULTING GROUP
14020 THUNDERBOLT PLACE, SUITE 300
CHANTILLY, VIRGINIA 20151
ATTN: STEVEN LIAM, PE
PHONE: (703) 464-1000

OWNER/APPLICANT

FORCE-ALEXANDRIA, L.L.C. /
JAGUAR DEVELOPMENT, L.L.C.
46859 HARRY BYRD HIGHWAY
SUITE 202
STERLING, VA 20164
(703) 926-4615
ATTN: EDDY CETTINA

ARCHITECT

RUST | ORLING ARCHITECTURE
1215 CAMERON STREET
ALEXANDRIA, VIRGINIA 22314
(703) 836-3205
ATTN: JOHN RUST

ENVIRONMENTAL SITE ASSESSMENT:

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS. THE FEDEX FACILITY IS LISTED ON THE LUST LIST AND MAY HAVE CONTAMINANTS ON SITE. THE FINAL SITE PLAN SHALL NOT BE RELEASED AND NO CONSTRUCTION ACTIVITY SHALL TAKE PLAN UNTIL THE FOLLOWING HAS BEEN SUBMITTED AND APPROVED BY THE DIRECTOR OF T&ES: A SITE CHARACTERIZATION REPORT/EXTENT OF CONTAMINATION STUDY DETAILING THE LOCATION, APPLICABLE CONTAMINANTS, AND THE ESTIMATED QUANTITY OF ANY CONTAMINATED SOILS AND/OR GROUNDWATER AT OR IN THE IMMEDIATE VICINITY OF THE SITE, A RISK ASSESSMENT INDICATING ANY RISKS ASSOCIATED WITH THE CONTAMINATION, A REMEDIATION PLAN DETAILING HOW ANY CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO REMEDIATE UTILITY COORIDORS, AND A HEALTH AND SAFETY PLAN INDICATING MEASURES TO BE TAKEN DURING REMEDIATION AND/OR CONSTRUCTION ACTIVITIES TO MINIMIZE THE POTENTIAL RISKS TO WORKER, THE NEIGHBORHOOD, AND THE ENVIRONMENT.

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, IT'S CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

ALL WELLS INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FLANDER AND COORDINATE WITH ALEXANDRIA HEALTH DEPARTMENT AT 703 838-4400 EXT. 255.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND SATURDAYS FROM 9 AM TO 6PM. NO

CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS. PILE DRIVING IS FURTHER

RESTRICTED TO THE FOLLOWING HOURS:

MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND SATURDAYS FROM 10 AM TO 4 PM.

THERE ARE NO RESOURCE PROTECTION AREAS ON THIS SITE.

ARCHAEOLOGICAL NOTE:

CONTACT ALEXANDRIA ARCHAEOLOGY (703-838-4399) TWO WEEKS PRIOR TO ANY GROUND DISTURBING ACTIVITY (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE). CITY ARCHAEOLOGISTS WILL PROVIDE ON-SITE INSPECTIONS TO RECORD SIGNIFICANT FINDS.

THE DEPTHS AND LOCATIONS OF ANY UNDERGROUND ELECTRIC, WATER, TELEPHONE, AND GAS MAIN LINES OR SERVICES CANNOT BE FIELD SURVEYED. "MISS UTILITY" UTILITY SERVICE PROTECTION CENTER MAY BE CONTACTED AT 1-800-552-7001 REGARDING THE LOCATION OF THESE UNDERGROUND UTILITIES.

UTILITY WARNING!!

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET INDEX

CIVIL ENGINEERING SHEETS

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- C2.00 NOTES, ABBREVIATIONS AND LEGEND
- C3.00 CONTEXTUAL PLAN
- C4.00 EXISTING CONDITIONS PLAN
- C4.10 DEMOLITION PLAN
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- C7.10 UTILITY PLAN
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- C8.00 PRE-DEVELOPMENT DRAINAGE DIVIDES
- C8.10 POST-DEVELOPMENT DRAINAGE DIVIDES
- C8.20 OVERALL STORMWATER OUTFALL PLAN
- C8.30 STORMWATER MANAGEMENT PLAN
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- C9.00 SIGHT DISTANCE PROFILES
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- C12.00 FIRETRUCK TURNING MOVEMENTS (1 OF 2)
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- A1.2 GROUND AND SECOND FLOOR PLANS
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LANDSCAPING SHEETS

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- L-5.3 TREE PIT PLANTING DETAILS
- L-6.4 PLANTING DETAILS ON STRUCTURE

(53 TOTAL SHEETS)

APPROVED

SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

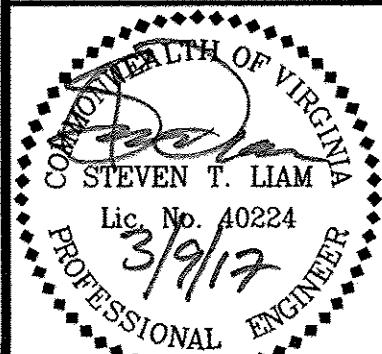
COVER SHEET

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

VIRGINIA

CITY OF ALEXANDRIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE DESCRIPTION
DAP DAP STL
DESIGN DRAWN CHKD
SCALE H: AS SHOWN
V:

JOB No. 4101-02-004

DATE : MARCH 2017

FILE No. 4101-D-PR-004

SHEET C1.00

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LEGEND

EXISTING	DESCRIPTION	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER	
	TRANSITION FROM CSCG-2 TO CSCG-1	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	LIMITS OF DISTURBANCE	
	TREE LINE	
	FLOW LINE OF SWALE	
	STREAM	
	OVERLAND RELIEF PATHWAY	
	FENCE LINE	
	EASEMENT	
	WATER LINE	
	WATER VALVE	
	WATER REDUCER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE	
	TELEPHONE SERVICE	
	GAS LINE	
	OVERHEAD ELECTRIC	
	OVERHEAD TELEPHONE	
	SPOT ELEVATION	
	UTILITY POLE	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR INDICATES THE NUMBER OF TYPICAL PARKING SPACES	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	CRITICAL SLOPE SLOPES TO BE STABILIZED PURSUANT TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK	
	DOOR ENTRANCE	
	HANDICAP RAMP (CSPR-1)	
	DENOTES CLEAR SIGHT TRIANGLE	
	TREE	
	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	BRICK SIDEWALK	
	END WALLS	
	END SECTIONS	
	STOP SIGN	
	STREET SIGN	
	HANDICAP PARKING SPACE (VAN)	
	RIP RAP	

ABBREVIATIONS

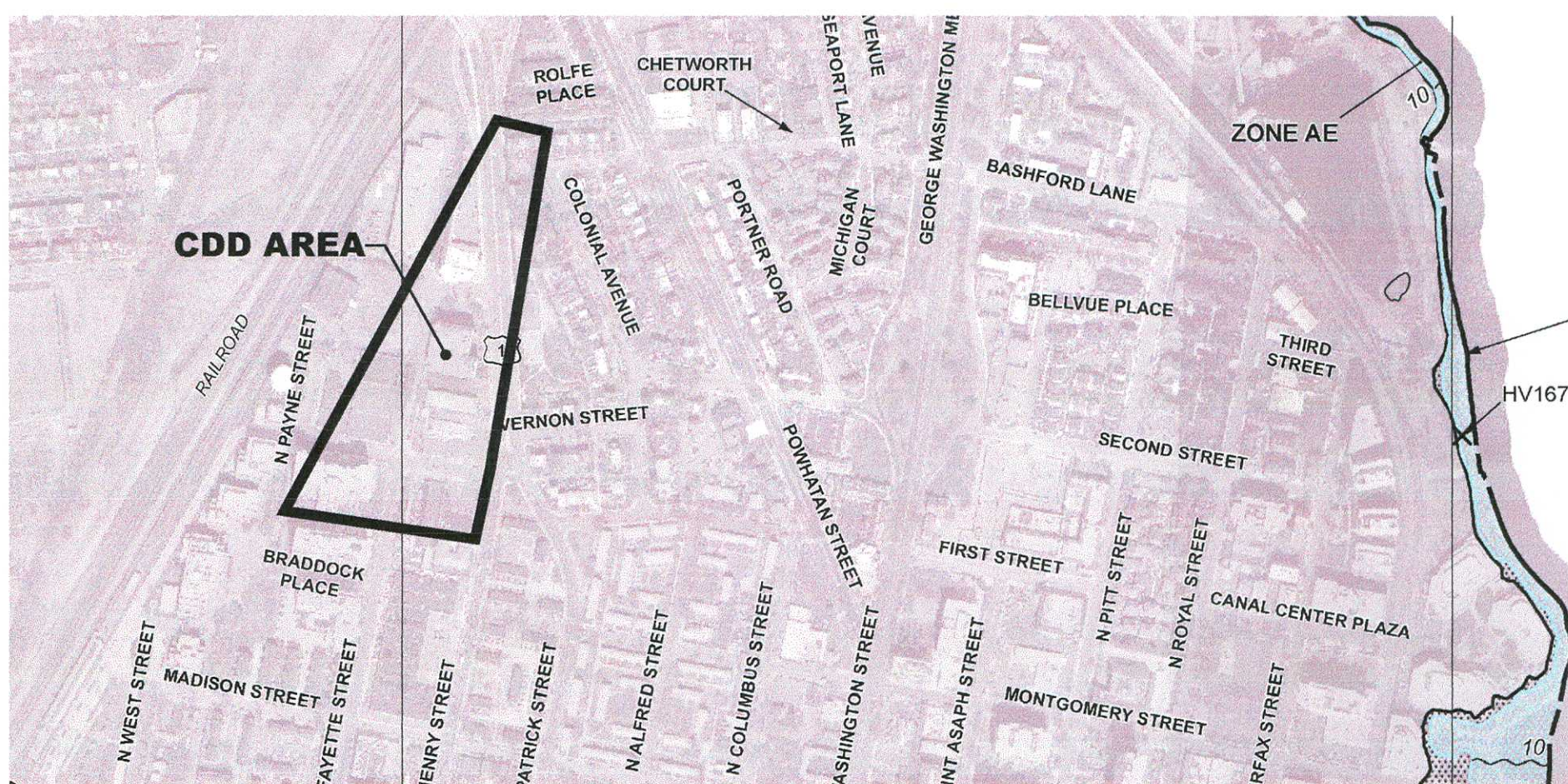
ASHTO	AREA OF ARC	F	FIRE LINE	PRELIM	PRELIMINARY
	AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS	FAR	FLOOR AREA RATIO	PROP	PROPOSED
AC	ACRE	FC	FACE OF CURB	PT	POINT OF TANGENCY
ADJ	ADJACENT	FCPA	FAIRFAX COUNTY PARK AUTHORITY	PVC	POINT OF VERTICAL CURVE
AGOR	AGGREGATE	FCWA	FAIRFAX COUNTY WATER AUTHORITY	PVI	POINT OF VERTICAL INTERSECTION
AHD	AHEAD	FD	FLOOR DRAIN	PVMT	PAVEMENT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FF	FIRST FLOOR	PVRC	POINT OF VERTICAL REVERSE CURVE
APPROX	APPROXIMATE	FG	FINISH GRADE	PVT	POINT OF VERTICAL TANGENT
ARCH	ARCHITECTURAL	FH	FIRE HYDRANT	Q (cfs)	AMOUNT OF RUNOFF (FLOW RATE)
ASPH	ASPHALT	FL	FLOW LINE	R	RADIUS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FND	FOUNDATION	RCP	REINFORCED CONCRETE PIPE
AWWA	AMERICAN WATER WORKS ASSOCIATION	FOY	FOYER	RD	ROAD OR ROOF DRAIN
B	BREADTH	FP	FLOOD PLAIN	REINF	REINFORCED
BC	BACK OF CURB	FPS	FEET PER SECOND	REQD	REQUIRED
BF	BASEMENT FLOOR	FS	FIRE SERVICE OR FACTOR OF SAFETY	RET	RETAINING
BLDG	BUILDING	FT	FOOT / FEET	REV	REVISION
BM	BENCHMARK	G	GAS	RGP	ROUGH GRADING PLAN
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	GAR	GARAGE	RMA	RESOURCE MANAGEMENT AREA
BNOV	BLOW OFF VALVE	GFA	GROSS FLOOR AREA	ROM	REMOTE OUTSIDE MONITOR
BRG	BEARING	GR	GUARD RAIL OR GRATE INLET	RPA	RESOURCE PROTECTION AREA
BRL	BUILDING RESTRICTION LINE	H	HEAD	RR	RAILROAD
BVCE	BEGINNING VERTICAL CURVE ELEVATION	HC	HANDICAP	RT	RIGHT
BVCS	BEGINNING VERTICAL CURVE STATION	HB	HORIZONTAL BEND	RTE	ROUTE
BW	BOTTOM OF WALL	HGL	HYDRAULIC GRADE LINE	R/W	RIGHT OF WAY
c,e	CENTER CORRECTION ON VERTICAL CURVE	HORZ	HORIZONTAL	S	SPEED OR SLOPE
C	RUNOFF COEFFICIENT	HP	HIGH POINT	SAN	SANITARY
C&G	CABLE TELEVISION	HR	HAND RAIL	SBL	SOUTH BOUND LANE
CATV	CURB AND GUTTER	HT	HEIGHT	SCH	SCHEDULE
CB	CATCH BASIN	HW	HEADWATER	SD	SIGHT DISTANCE
CBR	CALIFORNIA BEARING RATIO	I	RAINFALL INTENSITY	SEC	SECTION
CC	CENTER TO CENTER	ID	INSIDE DIAMETER OR IDENTIFICATION	SECT	SECTION
CF	CUBIC FEET	IE	INVERT ELEVATION	SEW	SEWER
CFS	CUBIC FEET PER SECOND	IN	INCH	SF	SQUARE FEET
CQ(R)	CURB AND GUTTER (REVERSE SLOPE)	INV	INVERT	SH	SHOULDER
CH	CHORD	IP	IRON PIPE	SP	SPACE OR SITE PLAN
CHBRG	CHORD BEARING	IPF	IRON PIPE FOUND	SPEC	SPECIFICATIONS
CIP	CAST IRON PIPE	IPS	IRON PIPE SET	STA	STATION
CL	CENTERLINE OR CLASS	JB	JUNCTION BOX	STD	STANDARD
Ĉ	CENTERLINE	JNT	JOINT	STK	STACK
C/L	CENTERLINE	K	SIGHT DISTANCE COEFFICIENT	STM	STORM
CLR	CLEAR	Ke	CULVERT ENTRANCE LOSS COEFFICIENT	STR	STRUCTURE
CM	CUBIC METERS	L	LENGTH	SVC	SERVICE
CMS	CORRUGATED METAL PIPE	LAT	LATERAL	S/W	SIDEWALK
CMP	CUBIC METERS PER SECOND	LCG	LIMITS OF CLEARING & GRADING	SWM	STORM WATER MANAGEMENT
CN	RUNOFF CURVE NUMBER	LF	LINEAR FEET	SX	CROSS SLOPE
CONT	CONTINUOUS	LL	LOWER LEVEL	SY	SQUARE YARD
COU	CLEAN OUT	LOS	LINE OF SIGHT	T	TANGENT
CONC	CONCRETE	LP	LOW POINT	TB	TOP OF BANK OR TEST BORING
CS	CURB STOP	LS	LOADING SPACE	TC	TOP OF CURB
CT	COURT	LT	LEFT	Tc	TIME OF CONCENTRATION
CTR	CENTERLINE	M	MONUMENT FOUND	TEL	TELEPHONE
CY	CUBIC YARD	MAX	MAXIMUM	TEMP	TEMPORARY
D	DEPTH	MECH	MECHANICAL	TH	TEST HOLE
DA	DRAINAGE AREA	MH	MANHOLE	TRANSP	TRANSPORTATION
DB	DEED BOOK	MI	MILE	TW	TOP OF WALL OR TAILWATER
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY	MIN	MINIMUM	TYP	TYPICAL
DET	DETAIL	MISC	MISCELLANEOUS	UG	UNDERGROUND
DIA	DIAMETER	MPH	MILES PER HOUR	UGE	UNDERGROUND ELECTRIC
DIP	DUCTILE IRON PIPE	MS	MEDIAN STRIP	UGT	UNDERGROUND TELEPHONE
DI	DROP INLET	MSL	MEAN SEA LEVEL	UGC	UNDERGROUND CABLE
DIST	DISTANCE	NA OR N/A	NOT APPLICABLE	UD	UNDERDRAIN
DL	DOMESTIC LINE	NBL	NORTH BOUND LANE	UL	UPPER LEVEL
DM	DROP MANHOLE	N/F	NOW OR FORMERLY	UP	UTILITY POLE
DOM	DOMESTIC	NFA	NET FLOOR AREA	USGS	US GEOLOGICAL SURVEY
DR	DRIVE	NO. OR #	NUMBER		
DRN	DRAINAGE AREA	OC	ON CENTER	V OR VOL	VOLUME
DS	DOWN SPOUT	OBJ	OBJECT	V OR VEL	VELOCITY
DU	DWELLING UNITS	OD	OUTSIDE DIAMETER	VA	VIRGINIA
DWG	DRAWING	OH	OVERHANG	VAN	HANDICAPPED VAN PARKING SPACE
D/W	DRIVEWAY	O/H	OVERHEAD	VB	VERTICAL BEND
Δ	DELTA	OHC	OVERHEAD CABLE	VC	VERTICAL CURVE
E	RATE OF SUPER ELEVATION	OHE	OVERHEAD ELECTRIC	VDOT	VA DEPT OF TRANSPORTATION
EA	EACH	OHT	OVERHEAD TELEPHONE	VF	VERTICAL FOOT
EBL	EAST BOUND LANE	P	PERIMETER	W	WEIGHT OR WIDTH
EG	EROSION CONTROL	P&P	PLAN AND PROFILE	WBL	WEST BOUND LANE
EC	EDGE OF GUTTER	PC	POINT OF CURVATURE	WL	WATER LINE
EGL	ENERGY GRADIENT LINE	PCC	POINT OF COMPOUND CURVE	WM	WATER METER
EL	ELEVATION	PCEC	POINT OF CURVATURE TOP OF CURB	W/M OR WM	WATER MAIN
ELEC	ELECTRIC	PCEP	POINT OF CURVE EDGE OF PAVEMENT	WQIA	WATER QUALITY IMPACT ASSESSMENT
ELEV	ELEVATION	PFM	PUBLIC FACILITIES MANUAL	WV	WATER VALVE
ENGR	ENGINEER	PG	PAGE	XF	TRANSFORMER
ENT	ENTRANCE	PGL	POINT OF GRADE LINE	YI	YARD INLET
EP	EDGE OF PAVEMENT	PI	POINT OF INTERSECTION	YR	YEAR
EQUIP	EQUIPMENT	PL	PROPERTY LINE		
ES	END SECTION	ℙ	PROPERTY LINE		
ESMT	EASEMENT	PRC	POINT OF REVERSE CURVE	Z	SIDE SLOPES
ETD	EXISTING TO BE DEMOLISHED				
ETR	EXISTING TO REMAIN				
ETRL	EXISTING TO BE RELOCATED				
ETRP	EXISTING TO BE REPLACED				
EVCE	ENDING VERTICAL CURVE ELEVATION				
EVCS	ENDING VERTICAL CURVE STATION				
EW	END WALL				
EX	EXISTING				
EQC	ENVIRONMENTAL QUALITY CORRIDOR				

NOTE:

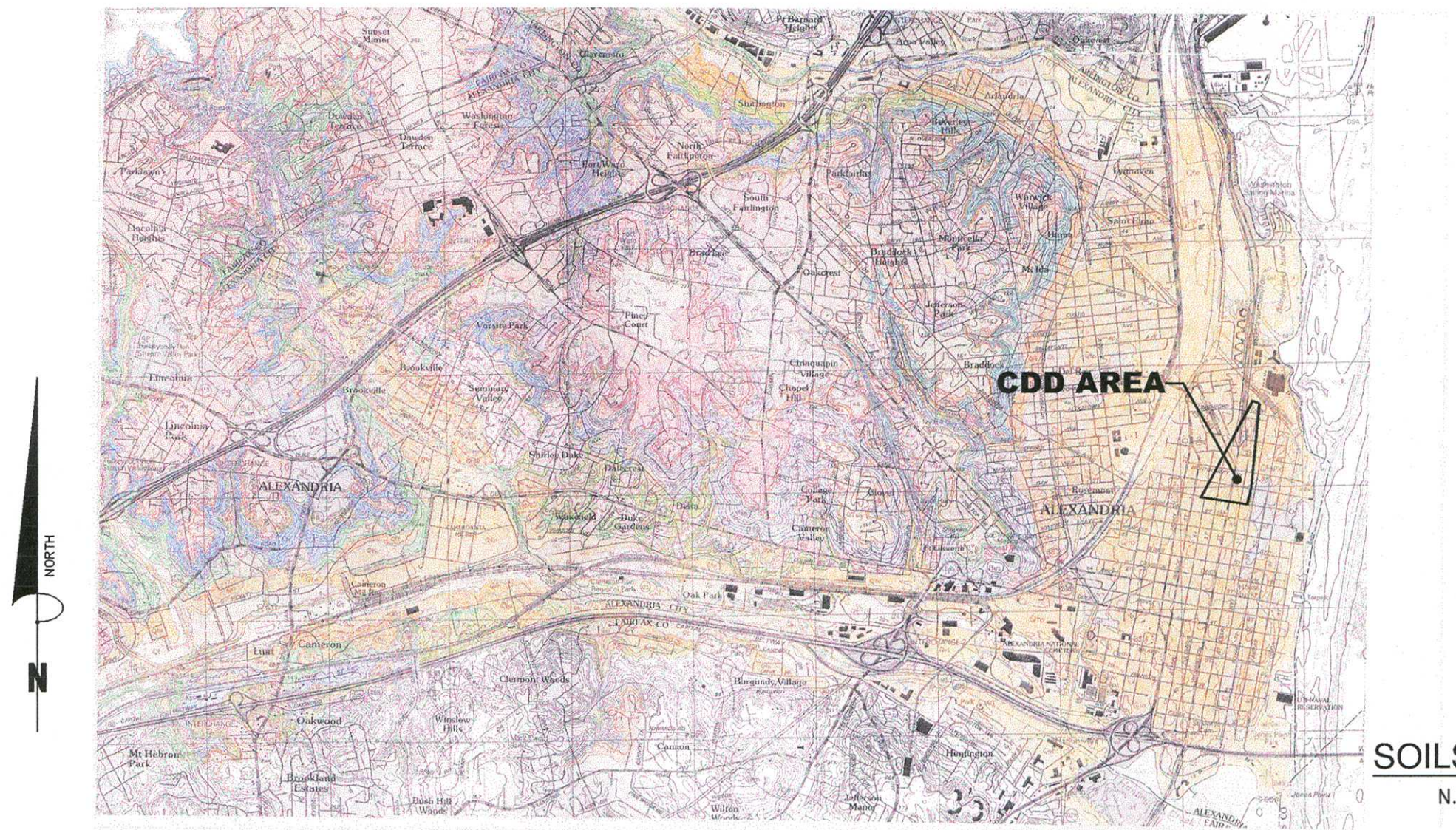
THIS IS A STANDARD SHEET. THEREFORE, SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE PROJECT.

GENERAL NOTES

1. EROSION AND SEDIMENT CONTROL WILL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE REGULATIONS OF CITY OF ALEXANDRIA.
2. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OF PORTION THEREOF, IN ACCORDANCE WITH USBC 119.0.
3. NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
4. A SOILS REPORT MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
5. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT SHALL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
6. ROOF DRAINAGE SYSTEMS MUST BE INSTALLED SO THAT NO IMPACT NOR EROSION/DAMAGE TO ADJACENT PROPERTY OCCURS.
7. CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. PLANS SHALL ACCOMPANY THE PERMIT APPLICATION THAT FULLY DETAIL THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
8. PERMISSION FROM ADJACENT PROPERTY OWNERS IS REQUIRED IF ACCESS TO THE ADJACENT PROPERTIES IS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. OTHERWISE, A PLAN SHALL BE SUBMITTED TO DEMONSTRATE THE CONSTRUCTION TECHNIQUES UTILIZED TO KEEP CONSTRUCTION STRICTLY ON THE REFERENCED PROPERTY.
9. APPLICANT SHALL PREPARE A NOISE STUDY IDENTIFYING THE LEVELS OF NOISE RESIDENTS OF THE PROJECT WILL BE EXPOSED TO AT THE PRESENT TIME, AND 10 YEARS INTO THE FUTURE IN A MANNER CONSISTENT WITH THE NOISE GUIDANCE BOOK USED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD).
10. APPLICANT SHALL SUBMIT A SITE CHARACTERIZATION REPORT/EXTENT OF CONTAMINATION STUDY, RISK ASSESMENT, REMEDIATION PLAN, AND HEALTH AND SAFETY PLAN BEFORE RELEASE OF THE FINAL SITE PLAN AND CONSTRUCTION ACTIVITIES MAY COMMENCE.



FEMA MAP
N.T.S.



SOILS MAP
N.T.S.

MULTI-FAMILY PARKING RATIO CALCULATOR: MARKET RATE HOUSING

Project Address: 1100 North Fayette St.		
Bedroom Count	# Units	# Bedrooms
One-Bedroom Units	207	207
Two-Bedroom Units	51	102
Three-Bedroom Units	0	0
Total	258	309

Studios are counted as 1 bedroom units. Projects are not required to park the 3rd and 4th bedroom, in which case those units would be counted as 2BR units.

PARKING CALCULATOR		Within 0.5 Mile Metro Walkshed	Outside of 0.5 Mile Metro Walkshed
Base Parking Ratio (space per bedroom)		0.8	1.0
Deductions on the Base Parking Ratio (if Eligible)			
BRT	10%		
4+ Bus Routes	5%	5%	
Very High Walkability (90-100)	10%	0%	
OR High Walkability (80-90)	5%	5%	
20% + studios	5%		
Total Deductions		0.10	0.00
Resulting Percentage		0.90	1.00
Per Bedroom Ratio			
		0.72	1.00
Total # of Spaces Required			
		222	309
Per Unit Ratio			
		0.86	1.20

BRT credit is given to projects located within 1/4 mile of an existing BRT stop.

Bus Route credit is given to projects with 4+ bus routes that stop within 1/4 mile of project entrance.

Walkability is currently measured using scores from Walkscore.com. Staff has developed and is in final testing stages of an Alexandria specific Walkability Index.

Projects may not receive both walkability credits

NOTES, ABBREVIATIONS AND LEGEND

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA



PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

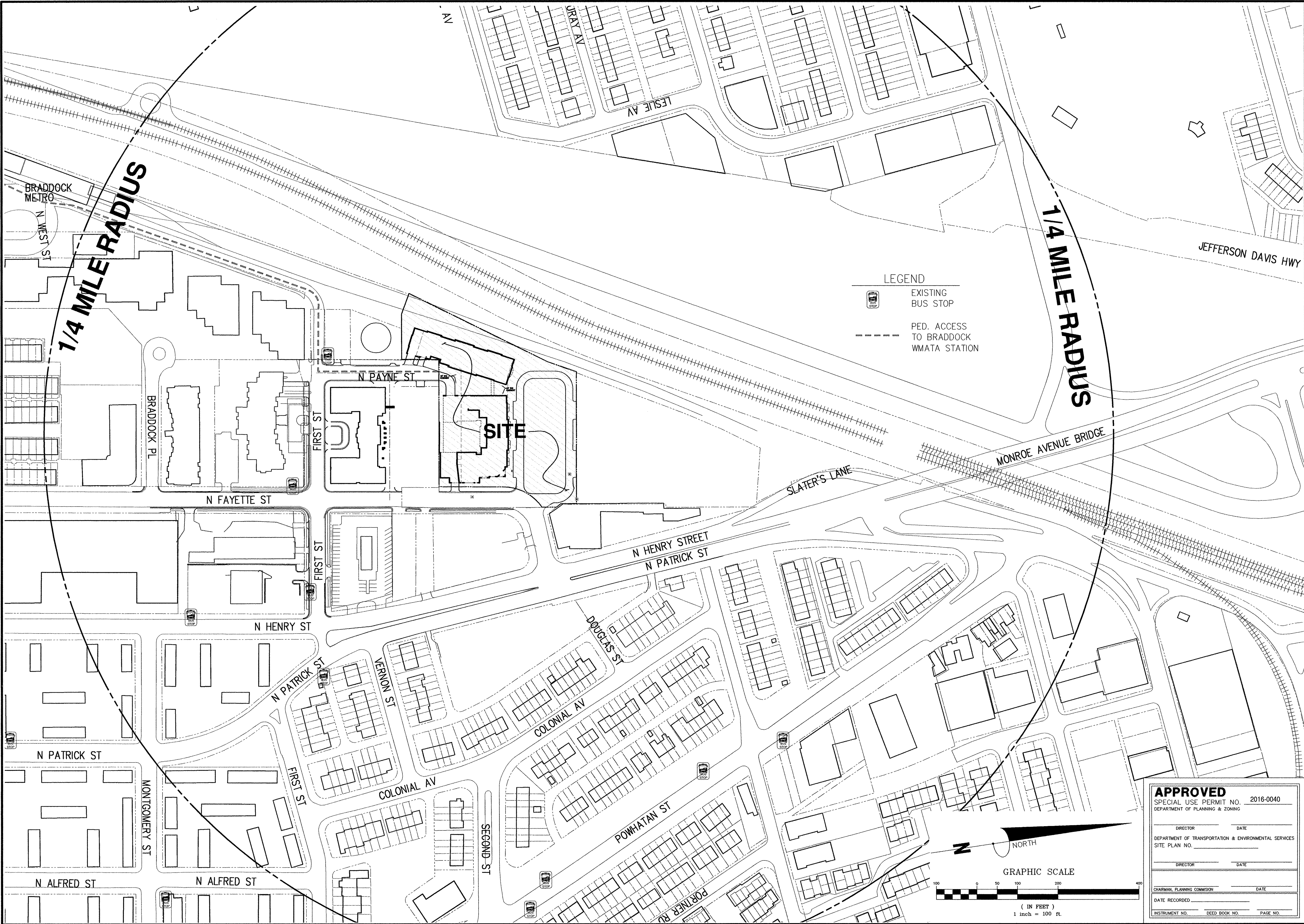
DATE		DESCRIPTION	
DAP DESIGN	DAP DRAWN	STL CHKD	
SCALE	H: N/A V:		
JOB No.	4101-02-004		
DATE :	MARCH 2017		
FILE No.	4101-D-PR-004		

SHEET C2.00


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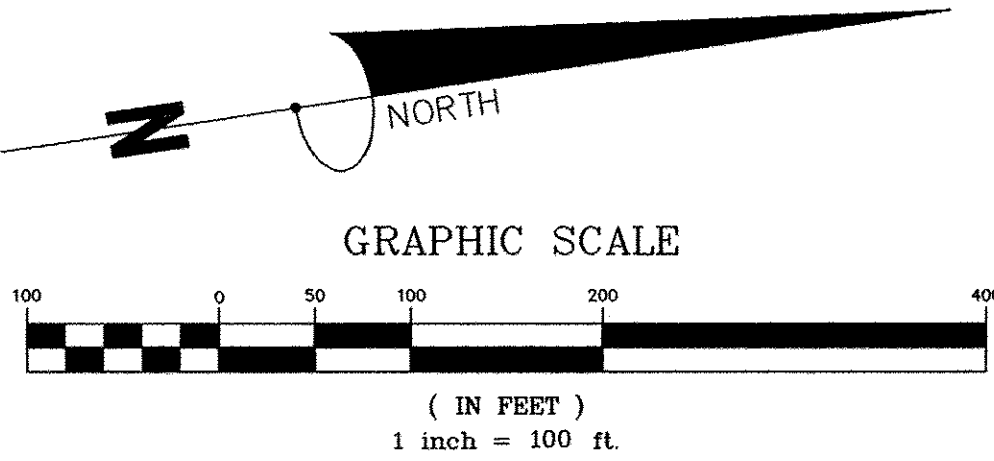
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LEGEND

 EXISTING BUS STOP

 PED. ACCESS TO BRADDOCK WMATA STATION



APPROVED	
SPECIAL USE PERMIT NO. 2016-0040	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



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CONTEXTUAL PLAN

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA VIRGINIA

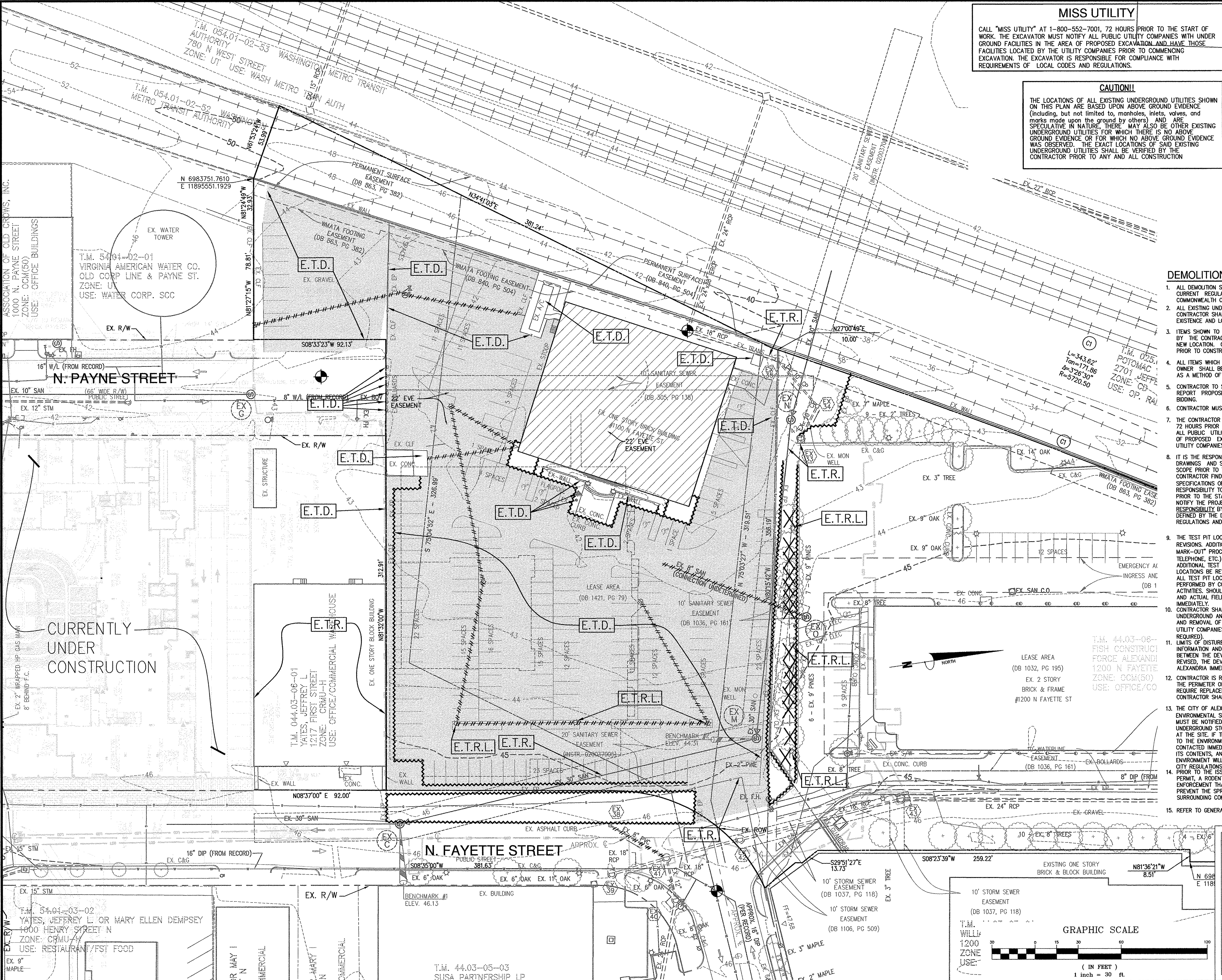


PLAN STATUS

01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL CHKD	
SCALE	H: 1"=100'
	V: _____
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004
SHEET	C3.00

Cad file name : P:\4101 - Braddock Gateway\Phase II\4101-D-PR-004 (ENR) - Braddock Gateway\Engineering\Planning\4101-02-004-CONTEXTUAL-PR02P2.dwg



MISS UTILITY

CALL "MISS UTILITY" AT 1-800-552-7001, 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF LOCAL CODES AND REGULATIONS.

CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

LEGEND

- TEST PIT REQUIRED (EXACT LOCATION)
- E.T.R. : EXISTING TO REMAIN
- E.T.D. : EXISTING TO BE DEMOLISHED
- E.T.R.P. : EXISTING TO BE REPLACED
- E.T.R.L. : EXISTING TO BE RELOCATED
- A.L.P. : ABANDONED IN PLACE
- : PORTION OF PIPE TO BE REMOVED
- LOD --- : LOD - LIMITS OF DISTURBANCE
- : LIMIT OF EXIST. CURB/APRON REMOVAL
- X : EXISTING TREE TO BE REMOVED
- [Hatched Box] : EXISTING STRUCTURE TO BE REMOVED
- [Solid Box] : EXISTING PAVEMENT TO BE REMOVED

- DEMOLITION NOTES:**
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE CITY OF ALEXANDRIA AND THE COMMONWEALTH OF VIRGINIA.
 - ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
 - ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
 - ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
 - CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
 - CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
 - THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-552-7001 AT LEAST 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (i.e. TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED, PRIOR TO FINAL JURISDICTIONAL APPROVAL. ALL TEST PIT LOCATIONS SHOWN THROUGHOUT PLAN SET MUST BE PERFORMED BY CONTRACTOR PRIOR TO EXECUTION OF ANY CONSTRUCTION ACTIVITIES. SHOULD A DISCREPANCY BE DISCOVERED BETWEEN THIS PLAN SET AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL COORDINATE REMOVAL OR RELOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL, TELEPHONE AND CABLE TV LINES AND REMOVAL OF UTILITY POLES, PEDESTALS AND TRANSFORMERS WITH UTILITY COMPANIES AND WITH DEVELOPER PRIOR TO DEMOLITION (AS REQUIRED).
 - LIMITS OF DISTURBANCE SHOWN ARE BASED UPON BEST AVAILABLE INFORMATION AND MAY BE SUBJECT TO CHANGE BASED UPON COORDINATION BETWEEN THE DEVELOPER AND UTILITY COMPANIES. SHOULD THESE LIMITS BE REVISED, THE DEVELOPER SHALL CONTACT THE ENGINEER AND THE CITY OF ALEXANDRIA IMMEDIATELY.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING CURBS & GUTTER AROUND THE PERIMETER OF THE ENTIRE PROJECT. SHOULD ANY CURBS OR GUTTER REQUIRE REPLACEMENT AS DIRECTED BY THE OWNER, ENGINEER OR CITY, THE CONTRACTOR SHALL REPLACE THEM AS PART OF THE ORIGINAL WORKSCOPE.
 - THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES (TRES), DIVISION OF ENVIRONMENTAL QUALITY (DEQ) MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.
 - PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DEMOLITION PERMIT, A RODENT ASSESSMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
 - REFER TO GENERAL NOTES, SHEET C2.00 FOR ADDITIONAL NOTES.

APPROVED

SPECIAL USE PERMIT NO. 2016-0040

DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
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DEMOLITION PLAN

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA

PROFESSIONAL ENGINEER

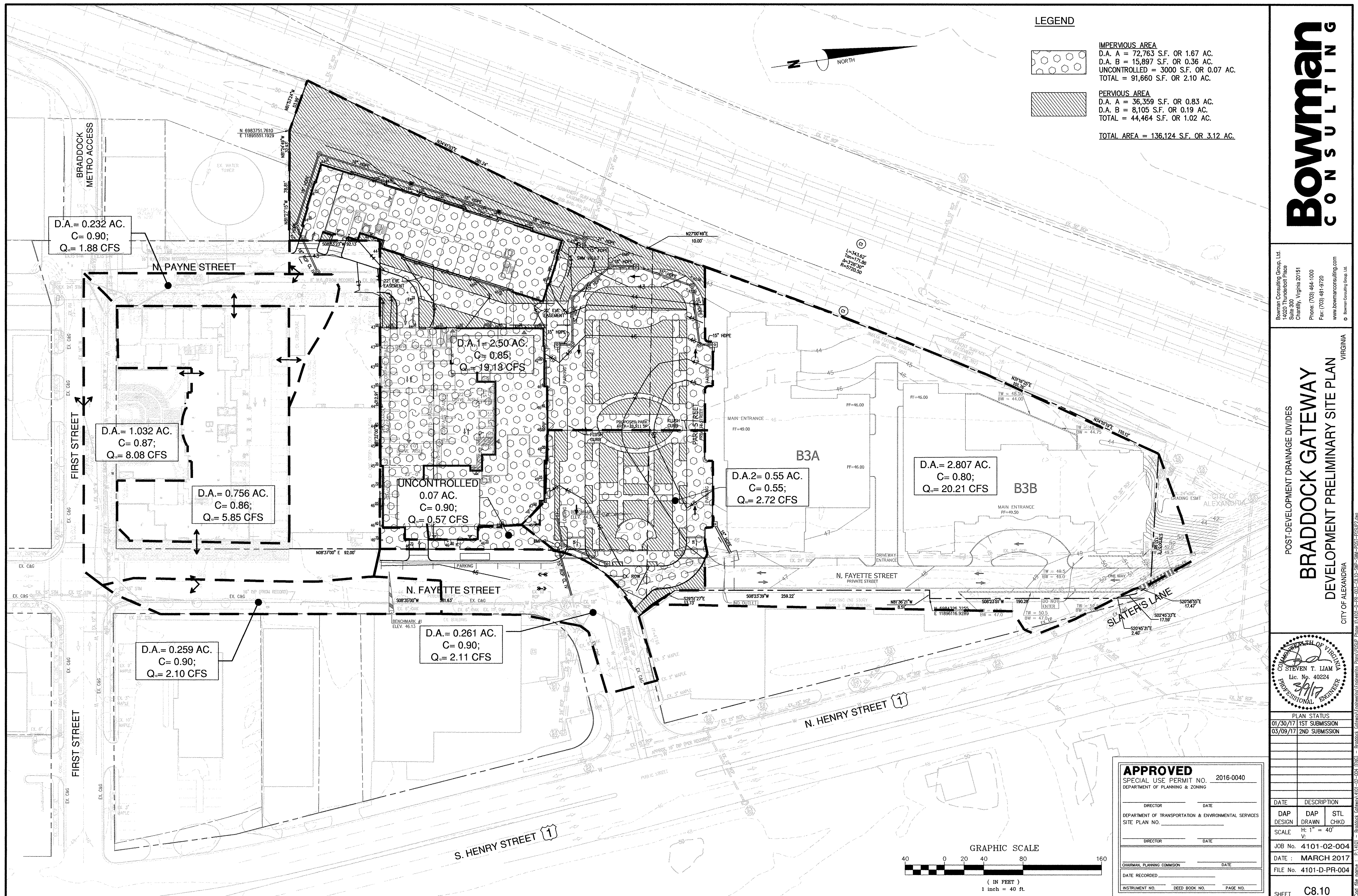
STEVEN T. LIAM
Lic. No. 40224

PLAN STATUS

01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP	DAP
DESIGN	DRAWN
SCALE	H: 1" = 30'
	V: 1" = 30'
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004

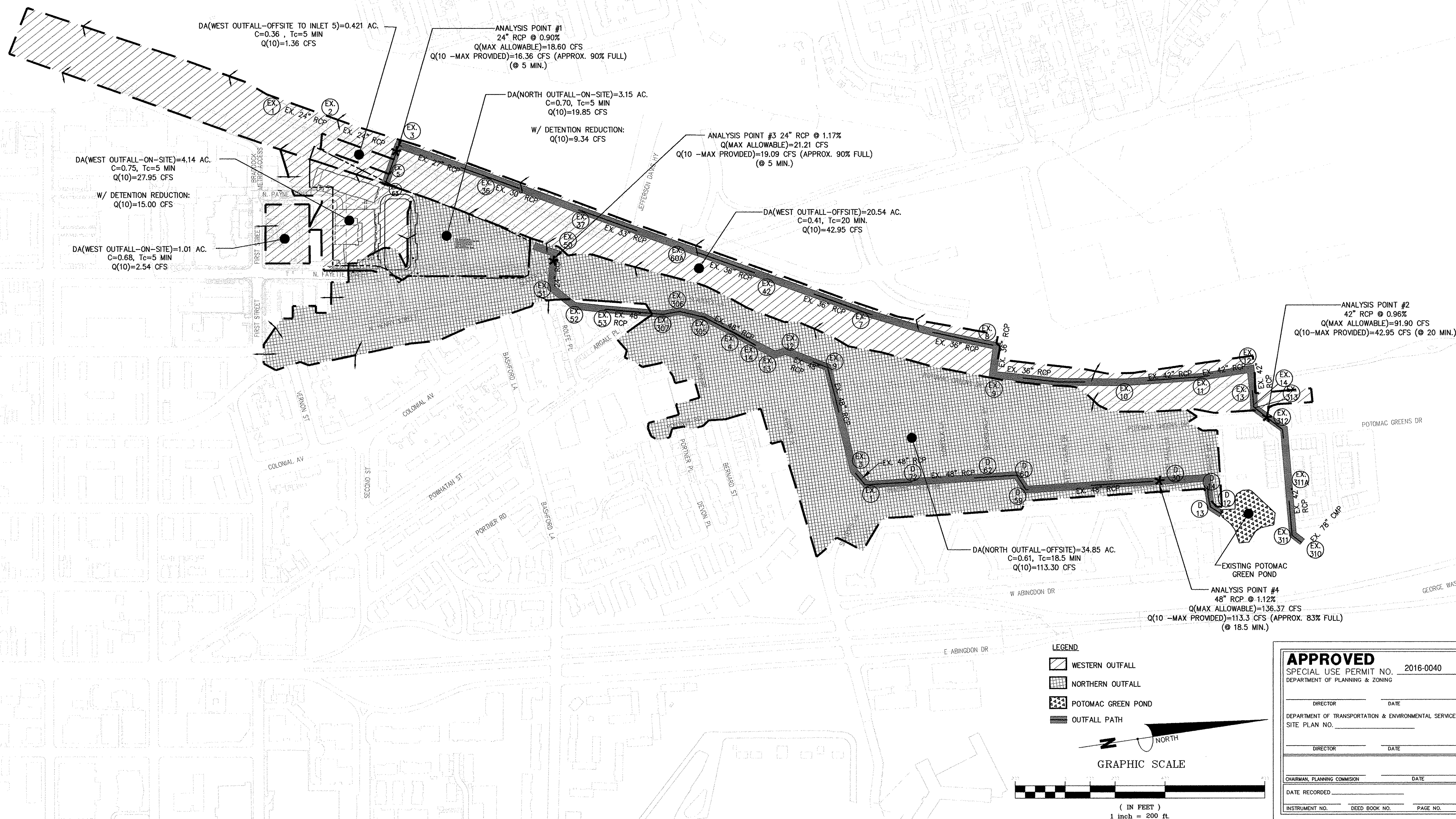
SHEET **C4.10**



STORM SEWER OUTFALL NARRATIVE

THE BRADDOCK GATEWAY DFF#15 STORMWATER OUTFALL DISCHARGES TO TWO OUTFALL SYSTEMS, A WEST OUTFALL AND A NORTH OUTFALL. THE WEST OUTFALL HAS AN ALLOWABLE CAPACITY OF 18.60 CFS 10-YEAR. THE DESIGN DISCHARGE WILL BE 16.36 CFS, LOCATED AT ANALYSIS POINT #1. THIS WATER THAN RUNS ALONG THE WMATA TRACKS WHERE IT FLOWS THROUGH A DIVERSION PIPE IN POTOMAC GREENS AT ANALYSIS POINT #2. THE DESIGN OF THE OUTFALL WAS SIZED FOR THE 100-YEAR STORM EVENT.

THE NORTHERN OUTFALL HAS AN ALLOWABLE DISCHARGE OF 21.21 CFS, LOCATED AT ANALYSIS POINT #3. THE DESIGN DISCHARGE WILL BE 19.09 CFS. THIS WATER RUNS INTO A 48" STORM PIPE WHERE IT DISCHARGES INTO A BMP WETLAND POND IN POTOMAC GREEN. THE OUTFALL OF THE POND IS CONTROLLED BY A POND RISER AND ADEQUATE OUTFALL PROTECTION HAS BEEN INSTALLED FOR THE 10 AND 100 YEAR STORM EVENT.



Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 3.12

Maximum reduction required:	20%
The site's net increase in impervious cover (acres) is:	0
Post-Development TP Load Reduction for Site (lb/yr):	0.26

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.42	0.42
Impervious Cover (acres)				2.70	2.70
					3.12

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				1.02	1.02
Impervious Cover (acres)				2.10	2.10
Area Check	OK.	OK.	OK.	OK.	3.12

ALEXANDRIA WATER QUALITY VOLUME DEFAULT

WQv = 1815 X IMPERVIOUS AREA (AC.) (0.50 INCH DEPTH)
REQUIRED WQv = 1815 X 2.10 = 3811.5 CF
PROPOSED VAULT WITH ADS BAYSEPARATORS = 800 SF X 11' = 8,800 CF
PROVIDED WQv = 8,800 CF > 3811.5 CF

LAND COVER SUMMARY -- PRE-REDEVELOPMENT			
Land Cover Summary-Pre			
Pre-ReDevelopment	Listed	Adjusted ¹	
Forest/Open Space Cover (acres)	0.00	0.00	
Weighted Rv(forest)	0.00	0.00	
% Forest	0%	0%	
Managed Turf Cover (acres)	0.42	0.42	
Weighted Rv(turf)	0.25	0.25	
% Managed Turf	13%	13%	
Impervious Cover (acres)	2.70	2.70	
Rv(impervious)	0.95	0.95	
% Impervious	87%	87%	
Total Site Area (acres)	3.12	3.12	
Site Rv	0.86	0.86	

Treatment Volume and Nutrient Load		
Pre-ReDevelopment Treatment Volume (acre-ft)	0.2225	0.2225
Pre-ReDevelopment Treatment Volume (cubic feet)	9,692	9,692
Pre-ReDevelopment TP Load (lb/yr)	6.09	6.09
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.95	1.95
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding previous land proposed for new impervious cover)		1.28

1-year storm	2-year storm	10-year storm
2.70	3.20	5.20

LAND COVER SUMMARY -- POST DEVELOPMENT			
Land Cover Summary-Post (Final)			
Post ReDev. & New Impervious			
Forest/Open Space Cover (acres)	0.00		
Weighted Rv(forest)	0.00		
% Forest	0%		
Managed Turf Cover (acres)	1.02		
Weighted Rv (turf)	0.25		
% Managed Turf	33%		
Impervious Cover (acres)	2.10		
Rv(impervious)	0.95		
% Impervious	67%		
Final Site Area (acres)	3.12		
Final Post Dev Site Rv	0.72		

Land Cover Summary-Post			
Post-ReDevelopment			
Forest/Open Space Cover (acres)	0.00		
Weighted Rv(forest)	0.00		
% Forest	0%		
Managed Turf Cover (acres)	1.02		
Weighted Rv (turf)	0.25		
% Managed Turf	33%		
ReDev. Impervious Cover (acres)	2.10		
Rv(impervious)	0.95		
% Impervious	67%		
Total ReDev. Site Area (acres)	3.12		
ReDev Site Rv	0.72		

Land Cover Summary-Post			
Post-Development New Impervious			
New Impervious Cover (acres)	0.00		
Rv(impervious)	--		

Treatment Volume and Nutrient Load		
Final Post-Development Treatment Volume (acre-ft)	0.1875	
Final Post-Development Treatment Volume (cubic feet)	8,168	
Final Post-Development TP Load (lb/yr)	5.13	
Final Post-Development TP Load per acre (lb/acre/yr)	1.64	
Max. Reduction Required (Below Pre-ReDevelopment Load)	20%	
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.26	
TP Load Reduction Required for New Impervious Area (lb/yr)	0	

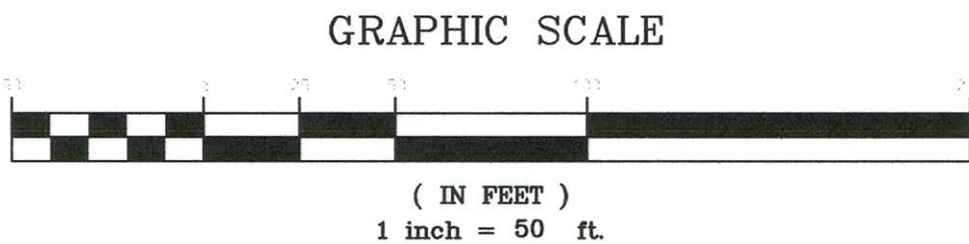
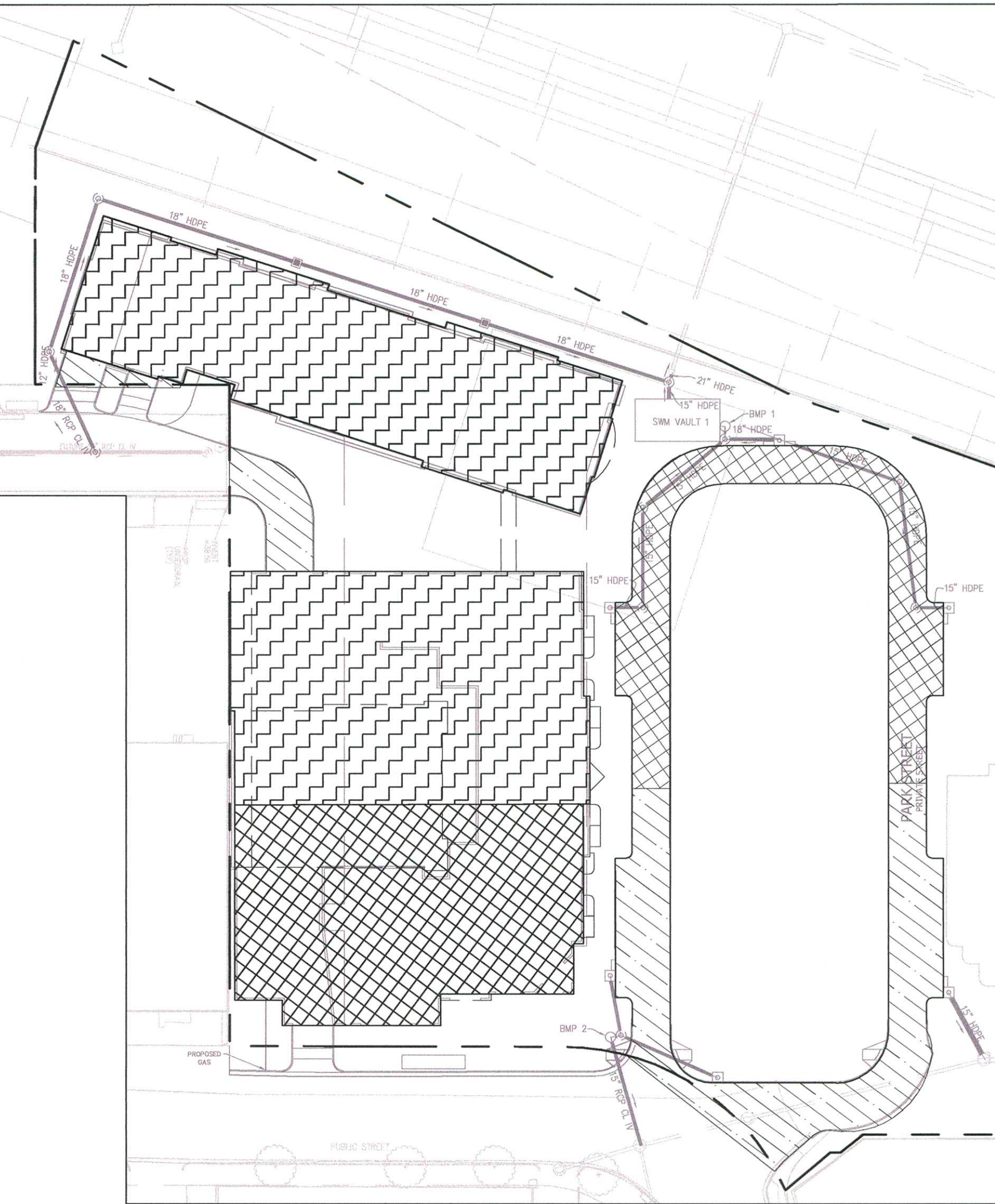
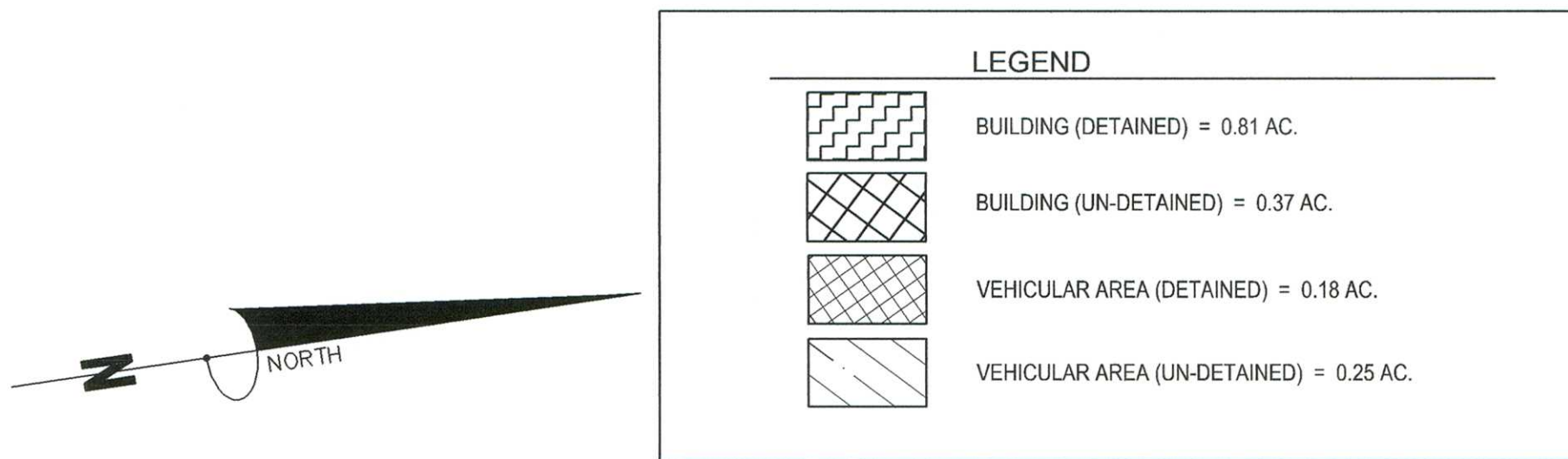
SWM/BMP NARRATIVE:

IN AN EFFORT TO CONFORM TO ARTICLE XIII OF THE CITY OF ALEXANDRIA ZONING ORDINANCE, THE POST-DEVELOPMENT RUNOFF WILL BE REDUCED FROM THE PRE-DEVELOPMENT RUNOFF THROUGH SEVERAL METHODS. FIRST, THE POST-DEVELOPMENT IMPERVIOUS AREA SHALL BE REDUCED ON-SITE BY APPROXIMATELY 19%. STORMWATER QUANTITY AND QUALITY SHALL BE ACHIEVED VIA UNDERGROUND STORAGE TANK AND HYDRODYNAMIC SEPARATOR DEVICES TO BE DESIGNED DURING FINAL ENGINEERING.

AS SHOWN ON THIS SHEET, STORMWATER QUANTITY CONTROL WILL BE ACHIEVED BY COLLECTING RUNOFF FROM STREETS AND BUILDING ROOFTOPS AND CONVEYING TO A DETENTION VAULT. THIS VAULT SHALL BE LOCATED AT THE WEST END OF THE PARK AND SHALL BE SIZED ACCORDING TO CHANNEL PROTECTION AND FLOOD CONTROL STORAGE VOLUMES PER ENERGY BALANCE. THE VAULT SHALL PROVIDE 8,800 CF OF STORAGE WHICH IS GREATER THAN THE COMBINED STORAGE REQUIREMENT OF 8,529 CF PER ENERGY BALANCE. THEREFORE STORMWATER QUANTITY HAS BEEN MET.

STORMWATER QUALITY SHALL BE ACHIEVED BY TWO (2) MANUFACTURED HYDRODYNAMIC DEVICES SUCH AS AN ADS BAYSEPARATOR OR EQUIVALENT LOCATED AT THE OUTFALL OF EACH DRAINAGE AREA IDENTIFIED AS "BMP 1" AND "BMP 2". PER VIRGINIA RUNOFF REDUCTION METHOD ON THIS SHEET, PHOSPHORUS LOAD REMOVAL HAS BEEN ACHIEVED. CITY OF ALEXANDRIA WATER QUALITY DEFAULT AS WELL AS ENERGY BALANCE SHALL BE ACHIEVED BY DETAINING THE 10-YEAR STORM EVENT WITHIN THE VAULT IN-LINE WITH THE HYDRODYNAMIC DEVICE.

SEE SHEET C8.00 FOR ADEQUATE OUTFALL.



APPROVED

SPECIAL USE PERMIT NO. 2016-0040

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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STORMWATER MANAGEMENT PLAN
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA

COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
3917
PROFESSIONAL ENGINEER

PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
SCALE	H: 1' = 50'
	V: _____
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004

SHEET C8.30

Cad file name = P:\4101 - Braddock Gateway\Engineering Plans\PSUP Phase II\4101-D-PR-004-02-004 [ENR] - Braddock Gateway\Engineering Plans\PSUP Phase II\4101-D-PR-004-02-004-SWM-OVERALL SWM.dwg

ENERGY BALANCE FOR OUTFALL #1 (D.A. A)

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	95.00	92.00	95.00	92.00
S=1000/CN-10	0.53	0.87	0.53	0.87
0.2S	0.11	0.17	0.11	0.17
RV=(P-0.2S) ² /(P-0.2S)+S	2.16	2.40	4.62	4.89

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

CHANNEL PROTECTION	
Qpre-development	6.41
QPost Development	7.11
RVPost Development (with runoff reduction)	1.88
Qallowable	5.88

From TR55
From TR55
From RRM

FLOOD CONTROL	
Qpre-development	13.14
QPost Development	15.54
RVPost Development (with runoff reduction)	4.28
Qallowable	14.18

Qallowable/QPost Development	0.83
Vs/Vr	0.18
Vs	0.34
Storage required (cf)	3071

Fig 11.7 of DEQ Manual

Qallowable/QPost Development	0.91
Vs/Vr	0.18
Vs	0.77
Storage required (cf)	6991

Drainage Area A		A Soils	B Soils	C Soils	D Soils
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00
	CN	30	55	70	77
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.83
	CN	39	61	74	80
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.67
	CN	98	98	98	98

Total Area (acres):	2.50
Runoff Reduction Volume (ft ³):	0

RV _{Developed} (watershed-inch) with no Runoff Reduction*	1-year storm	2-year storm	10-year storm
	1.88	2.35	4.28
RV _{Developed} (watershed-inch) with Runoff Reduction*	1.88	2.35	4.28
Adjusted CN*	92	92	92

ENERGY BALANCE FOR OUTFALL #2 (D.A. B)

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	97.00	92.00	97.00	92.00
S=1000/CN-10	0.31	0.87	0.31	0.87
0.2S	0.06	0.17	0.06	0.17
RV=(P-0.2S) ² /(P-0.2S)+S	2.36	2.40	4.85	4.89

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

CHANNEL PROTECTION	
Qpre-development	3.63
QPost Development	1.56
RVPost Development (with runoff reduction)	1.88
Qallowable	3.65

From TR55
From TR55
From RRM

FLOOD CONTROL	
Qpre-development	7.18
QPost Development	3.42
RVPost Development (with runoff reduction)	4.28
Qallowable	8.13

Qallowable/QPost Development	2.34
Vs/Vr	0.18
Vs	0.34
Storage required (cf)	676

Fig 11.7 of DEQ Manual

Qallowable/QPost Development	2.38
Vs/Vr	0.18
Vs	0.77
Storage required (cf)	1538

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.83	1.67	0	0	6,512	6,512	20	0.00	4.09	0.82	3.27	
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.19	0.36	0	0	1,414	1,414	20	0.00	0.89	0.18	0.71	

ADS BAYSEPARATOR™
STORMWATER TREATMENT SYSTEM

Through extensive testing and mathematical modeling, the BaySeparator was developed to deliver predictable, reliable and scalable performance with efficiency, ease of maintenance and cost effectiveness. Using fully customizable systems, BaySeparator removes over 80% of oils, fine suspended solids and floatable debris as soon as runoff enters the system.

The system is comprised of three main components: the BaySeparator Unit, the Primary Manhole and the Storage Manhole. Influent flow containing pollutants enters the system through the Primary Manhole. Coarse sediment settles while the flow passes over a weir into the BaySeparator Unit and is routed to the Storage Manhole. Once in the Storage Manhole, floatable debris, oils and grease float to the surface while fine sediments settle to the bottom. Maintenance is easily accomplished through the system's fully accessible chambers, resulting in more efficiency and lower costs.

FEATURES:

- Easy to specify, install, and maintain.
- Available in multiple sizes and systems for multiple applications
- System can be configured for a right-hand or left-hand layout to fit each site
- Can be placed under load-bearing surfaces or in green spaces
- Assists in compliance with Phase II (122.34(b)(5)) of the Clean Water Act
- Excellent abrasion and corrosion resistance
- Offline storage of collected pollutants prevents re-suspension

BENEFITS:

- Cost effective
- Easy access = easy inspections & maintenance
- Low maintenance costs
- Can be sized for any volume of stormwater
- Removes gross pollutants, oil, grease and suspended solids

ADS Service: ADS representatives are committed to providing you with the answers to all your questions, including specifications, and installation and more.

The Most **Advanced** Name in Drainage Systems™

ADS BAYSEPARATOR STORMWATER TREATMENT SYSTEM SPECIFICATIONS

MATERIALS AND DESIGN

- Concrete structures shall be designed for H-20 loading traffic and applicable ear loads or as otherwise determined by a Licensed Professional Engineer.
- The materials and structural design of the devices shall be per ASTM C478.
- The separator structure shall be substantially constructed of HDPE or equivalent corrosion-resistant material meeting ASTM F2306.
- Smooth wall pipes within the unit, (i.e. tee pipes, connector pipes and down pipes) shall be constructed of SDR 32.5 HDPE pipe of standard ASTM F412
- Pipe and fitting material shall be high-density polyethylene meeting ASTM F2306 minimum cell classification 435400C for 24-inch through 60-inch diameters.
- The reducer/adaptor shall be installed with an exterior joining coupler.
- The joint coupler shall be Mar-Mac® couplers and shall be installed according to the manufacturer's recommendations.
- The connector pipes shall be connected with the down pipes using flexible couplings that have been manufactured to conform to ASTM C425.

PERFORMANCE

- The stormwater treatment unit shall be an online unit capable of conveying 100% of the peak design flow.
- The stormwater treatment unit shall be designed to remove at least 80% of the suspended solids load on an annual aggregate removal basis. Said removal shall be based on full-scale third party testing using F-95 media gradation (manufactured by US Silica®) or equivalent. Said full scale testing shall have included sediment capture based on actual total mass collected by the Stormwater Treatment Unit(s).
- The stormwater treatment unit shall consist of one (1) prefabricated separator structure, one (1) on-line coarse sediment capture structure, and one (1) off-line sediment capture structure. The separator structure shall be substantially constructed of HDPE or equivalent corrosion resistant material. The offline sediment storage structure must provide for offline sediment storage of sediments and floatables that are isolated from high intensity storms. The said capture structures or manholes shall be of standard concrete construction.
- The Stormwater Treatment Unit(s) head loss at the Peak Design Flow Rate shall not exceed the head loss specified by the Engineer.
- The unit shall be designed to remove sediment particles as well as floating oils and debris.

INSTALLATION

Installation of the Stormwater Treatment Unit(s) shall be performed per manufacturer's Installation Instructions.

For more information on BayFilter Stormwater Filtration System and other ADS products, please contact our Customer Service Representatives at 1-800-821-6710

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Advanced Drainage Systems, Inc.
4640 Truman Blvd., Hilliard, OH 43026
1-800-821-6710 www.ads-pipe.com



Site Compliance Summary

Total Area (acres):	0.55
Runoff Reduction Volume (ft ³):	0

Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
---	-----

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	0.99
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	4.14
Remaining TP Load Reduction (lb/yr) Required	0.00

**** TARGET TP REDUCTION EXCEEDED BY 0.73 LB/YEAR ****

Nitrogen Removal Efficiency (%)	Nitrogen Load from Upstream Practices (lbs)	Untreated Nitrogen Load to Practice (lbs)	Nitrogen Removed By Practice (lbs)	Remaining Nitrogen Load (lbs)
14. Manufactured BMP (no RR)				
0	0.00	29.24	0.00	29.24
14. Manufactured BMP (no RR)				
0	0.00	6.35	0.00	6.35

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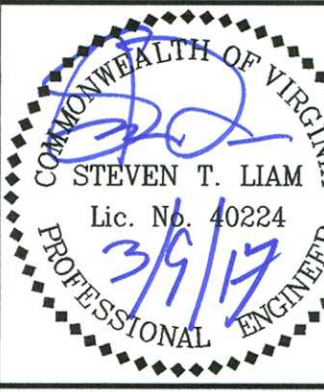
SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
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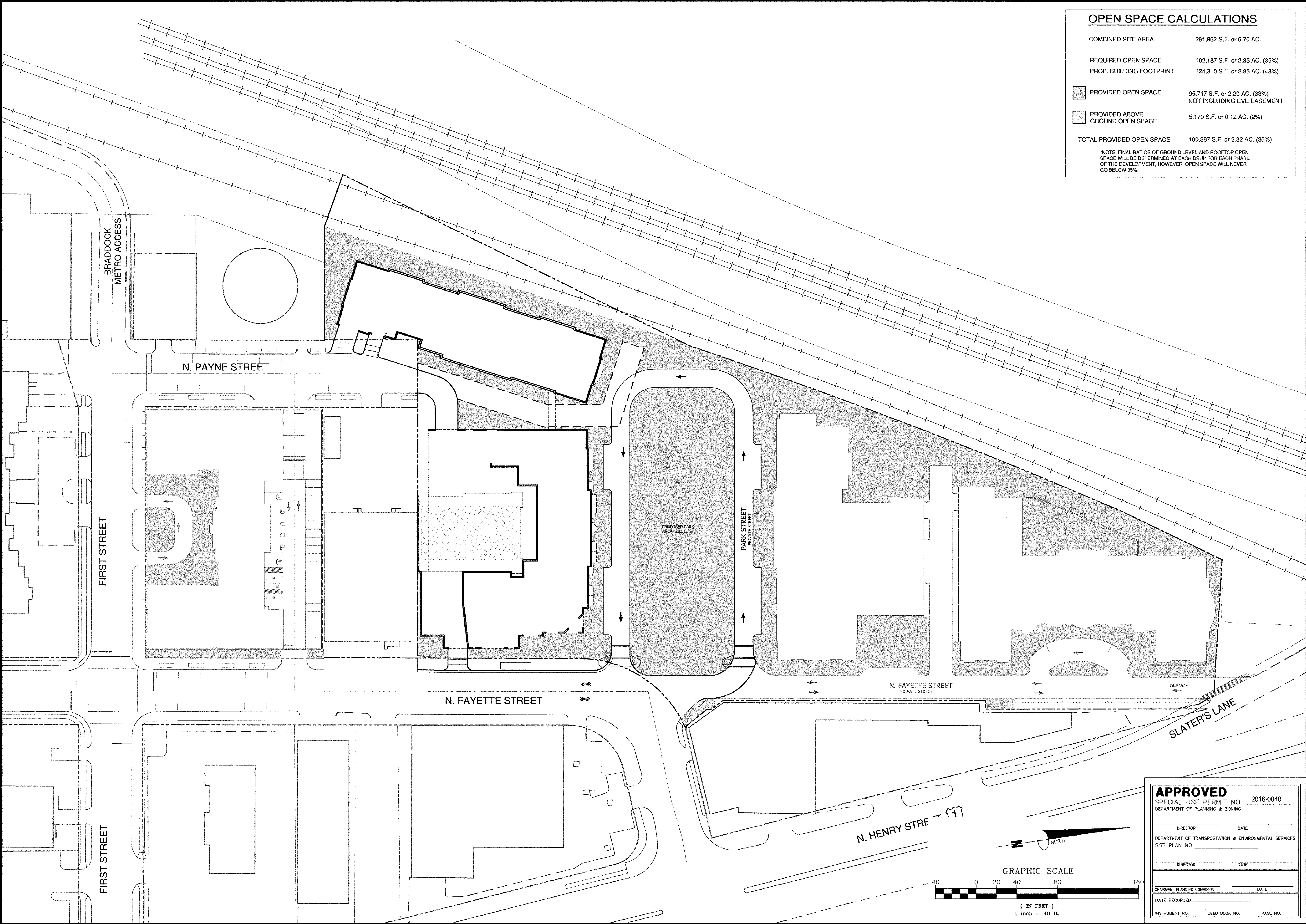
STORMWATER MANAGEMENT DETAILS
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL CHKD	
SCALE	H: 1" = 50'
V:	
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004

SHEET C8.40



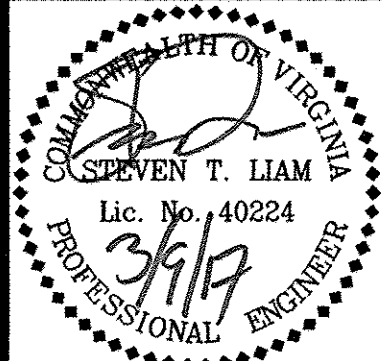
OPEN SPACE CALCULATIONS

COMBINED SITE AREA	291,962 S.F. or 6.70 AC.
REQUIRED OPEN SPACE	102,187 S.F. or 2.35 AC. (35%)
PROP. BUILDING FOOTPRINT	124,310 S.F. or 2.85 AC. (43%)
PROVIDED OPEN SPACE	95,717 S.F. or 2.20 AC. (33%) NOT INCLUDING EVE EASEMENT
PROVIDED ABOVE GROUND OPEN SPACE	5,170 S.F. or 0.12 AC. (2%)
TOTAL PROVIDED OPEN SPACE	100,887 S.F. or 2.32 AC. (35%)

*NOTE: FINAL RATIOS OF GROUND LEVEL AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH DSUP FOR EACH PHASE OF THE DEVELOPMENT, HOWEVER, OPEN SPACE WILL NEVER GO BELOW 35%.

OVERALL OPEN SPACE PLAN
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN

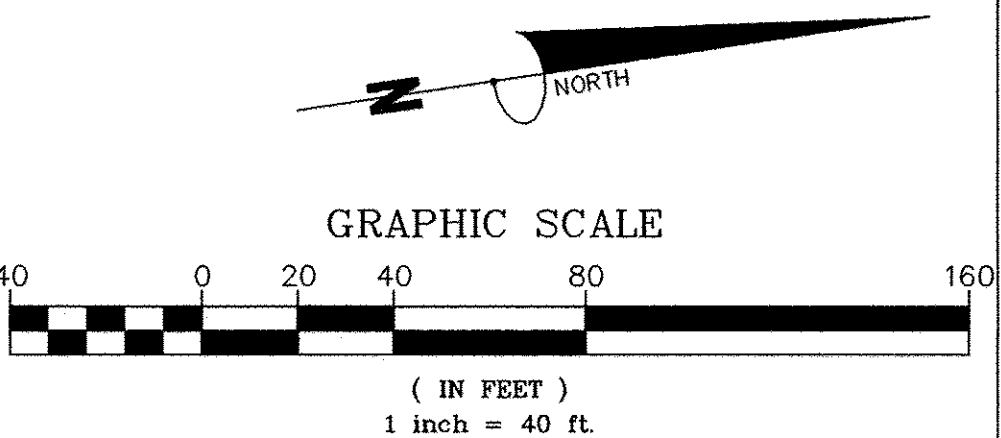
VIRGINIA



PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

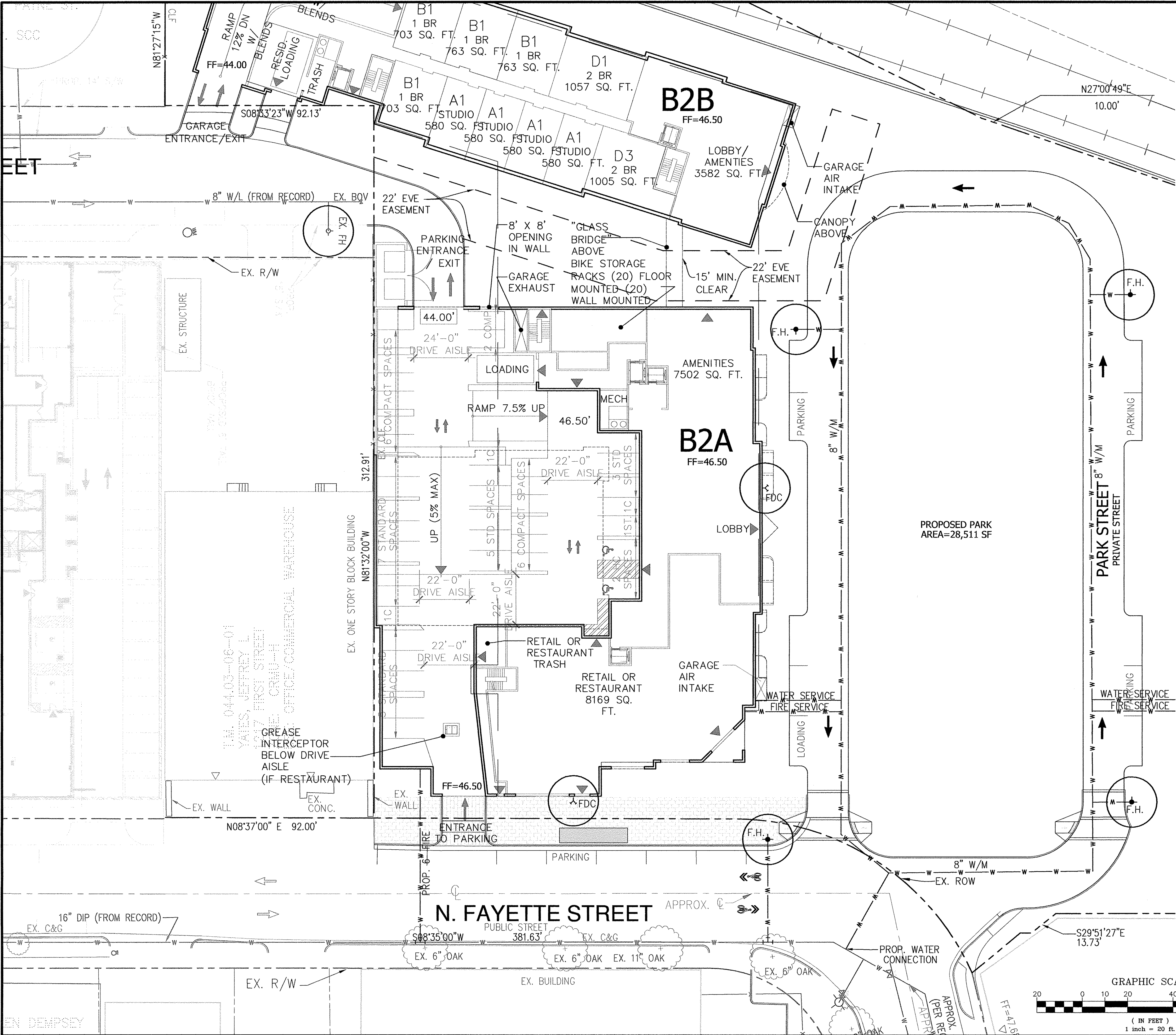
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DEPARTMENT OF PLANNING & ZONING

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DIRECTOR	DATE
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DATE	DESCRIPTION	
DAP DESIGN	DAP DRAWN	STL CHKD
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DATE	MARCH 2017	
FILE No.	4101-D-PR-004	
SHEET	C10.00	

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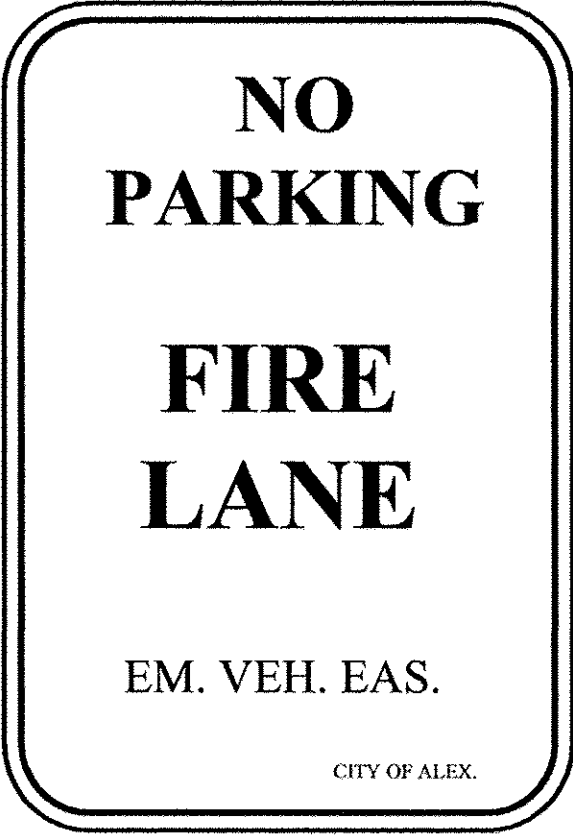


Fire Lane Designations

- Fire Lanes**
Emergency vehicle easements shall be a minimum of 22 feet across the travel lane. The emergency vehicle easement shall provide access to strategic areas of the building and fire protection systems as designated by the Director of Code Enforcement. Curbing and street components shall conform the standards established by Transportation and Environment Services for emergency vehicle easements.
- Sign Specifications**
Fire lane signs shall be metal construction, 12 inches wide and 18 inches in height. Provide red letters on reflective white background with a 3/8-inch red trim strip around the entire outer edge of the sign.

The lettering shall be "NO PARKING FIRE LANE." Placed as shown in Figure 3. Lettering size shall be as follows: "NO PARKING" - 2 inches "FIRE LANE" - 2-1/2 inches. Arrows (where applicable) - 1 inch by 6 inches solid shaft with solid head 1-1/2 inches wide and 2 inches deep.

Signs shall be mounted with the bottom of the sign 7 feet above the roadway, and shall be properly attached to a sign post or other approved structure as designated by the Director of Code Enforcement. Posts for signs, when required, shall be metal and securely mounted.



Signs shall face in the direction of vehicle travel. In areas where fire lanes involve two-way traffic, double mounted signs shall be provided. The maximum distance between signs shall be 100 feet. Other special signs or modifications to fire lane signs shall be approved by the Fire Marshal.



BUILDING CODE ANALYSIS

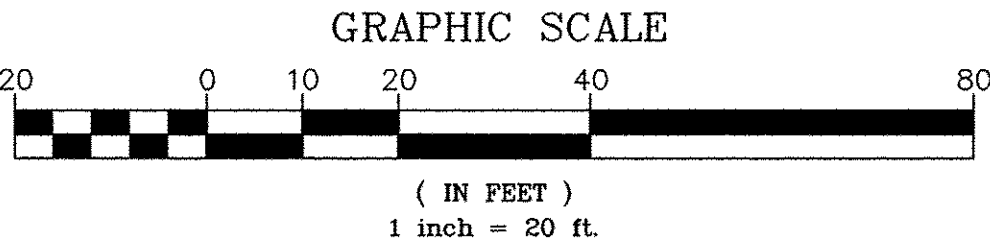
USE GROUP: XXXX
NUMBER OF LEVELS: X
TYPE OF CONSTRUCTION: XX
FIRE PROTECTION:

LEGEND

- INDICATES LOCATION OF FIRE FIGHTING RELATED EQUIPMENT
- INDICATES ONE (1) FIRE LANE SIGN ON A SINGLE POLE
- INDICATES TWO (2) FIRE LANE SIGN ON A SINGLE POLE
- INDICATES LOCATION OF FDC

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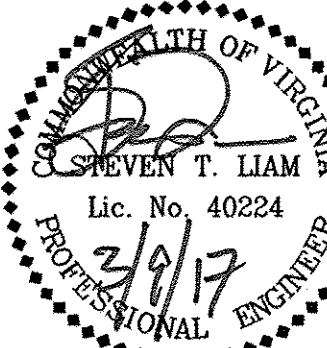
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DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
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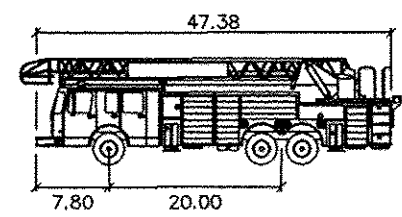
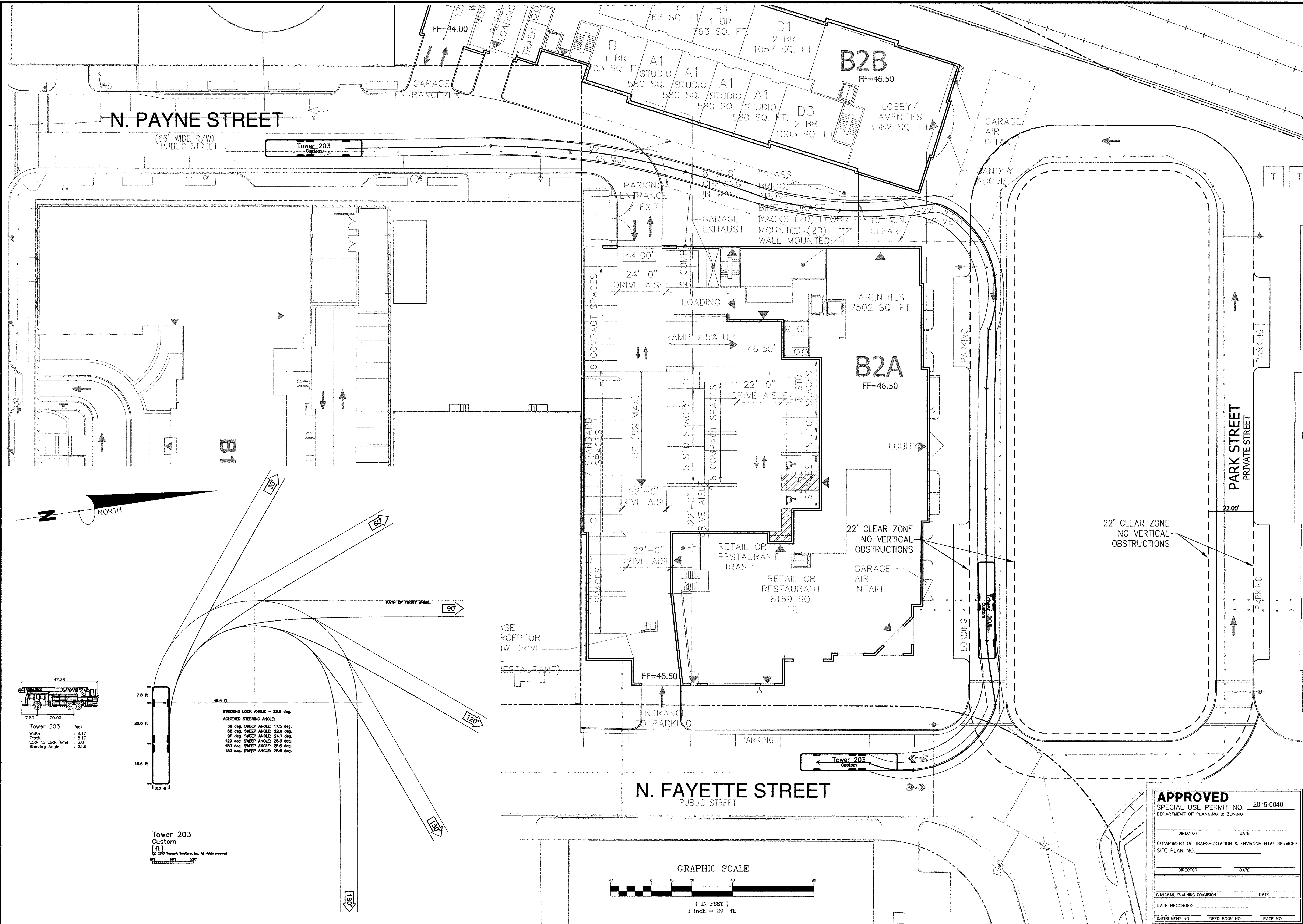
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Charlottesville, Virginia 20151
Phone: (703) 464-1000
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FIRE SERVICE PLAN
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

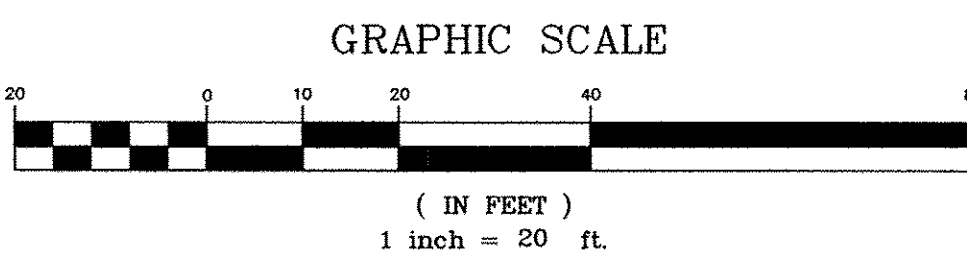
DATE	DESCRIPTION
DAP	DAP
DESIGN	DRAWN
SCALE	STL
H: 1" = 20'	CHKD
V:	
JOB No. 4101-02-004	
DATE : MARCH 2017	
FILE No. 4101-D-PR-004	
SHEET	C11.00



Tower 203 feet
Width : 8.17
Track : 8.17
Lock to Lock Time : 6.0
Steering Angle : 25.6

STEERING LOCK ANGLE = 25.6 deg.
ACHIEVED STEERING ANGLE:
30 deg. SWEEP ANGLE: 17.5 deg.
40 deg. SWEEP ANGLE: 22.9 deg.
90 deg. SWEEP ANGLE: 24.7 deg.
120 deg. SWEEP ANGLE: 25.3 deg.
150 deg. SWEEP ANGLE: 25.5 deg.
180 deg. SWEEP ANGLE: 25.6 deg.

Tower 203
Custom
[ft]
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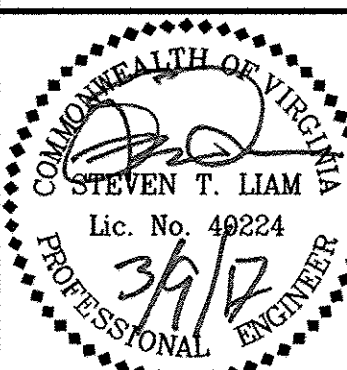
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
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SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
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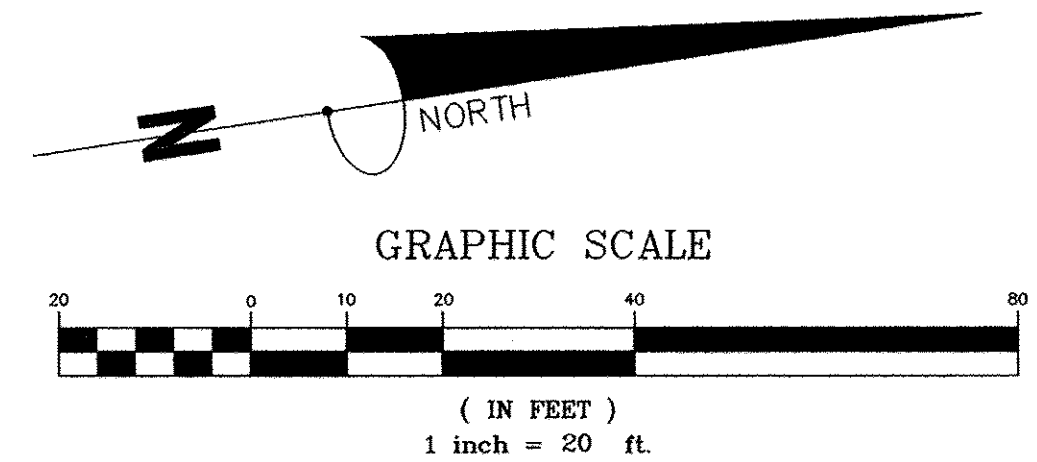
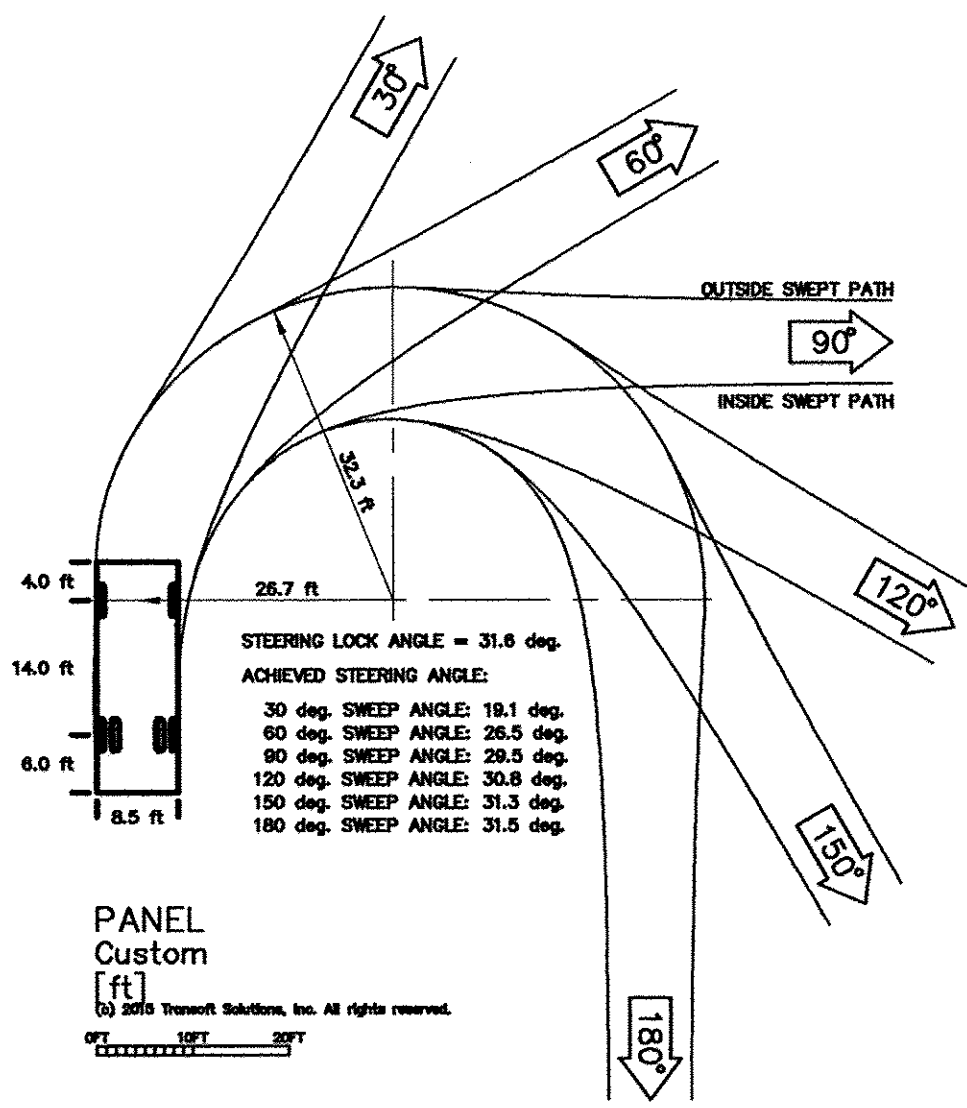
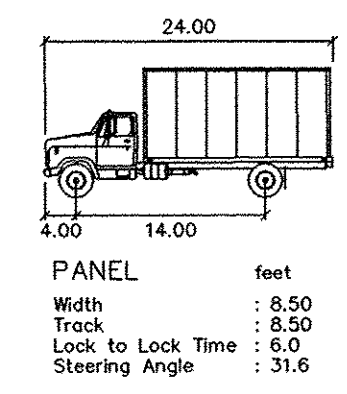
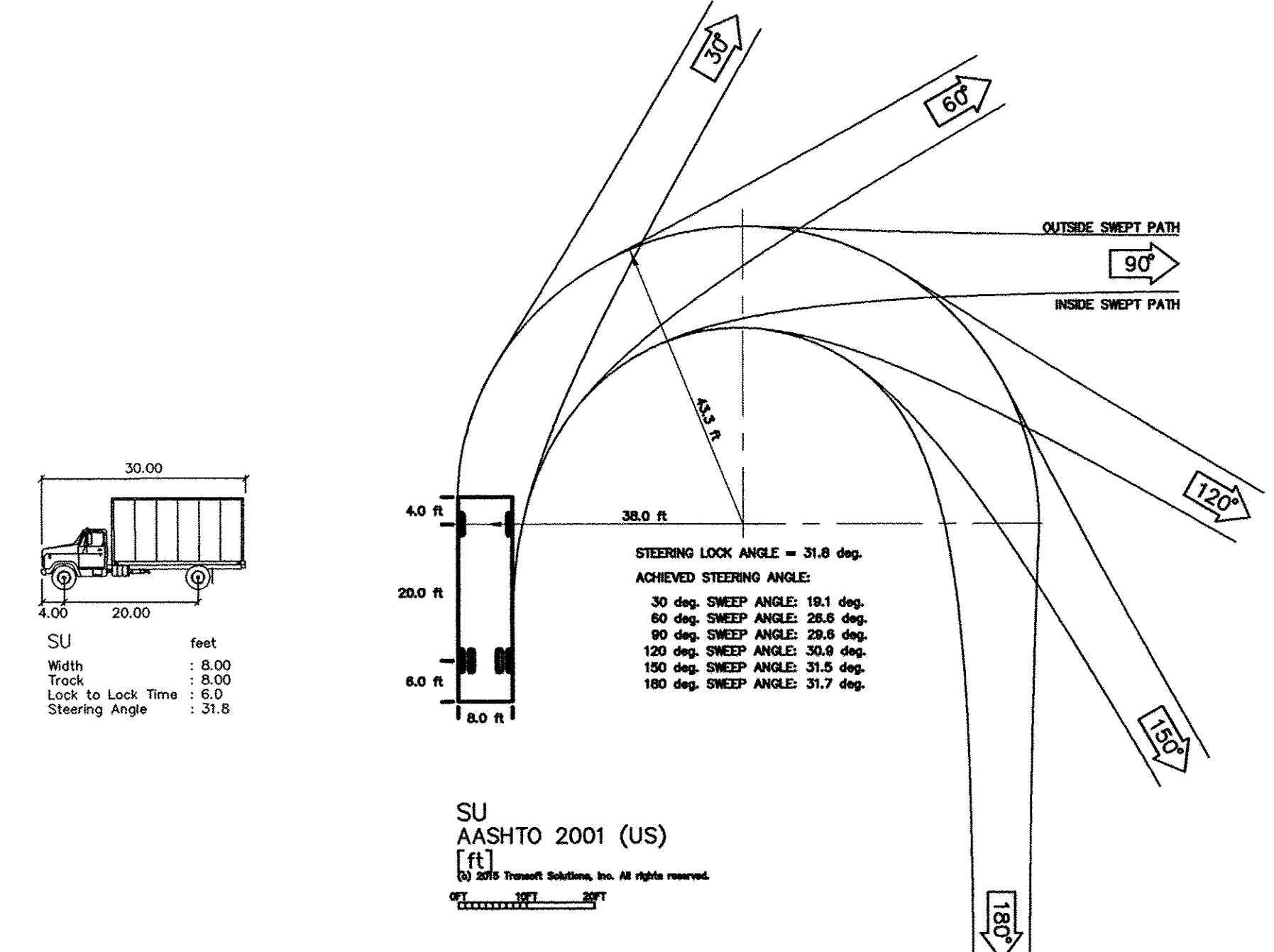
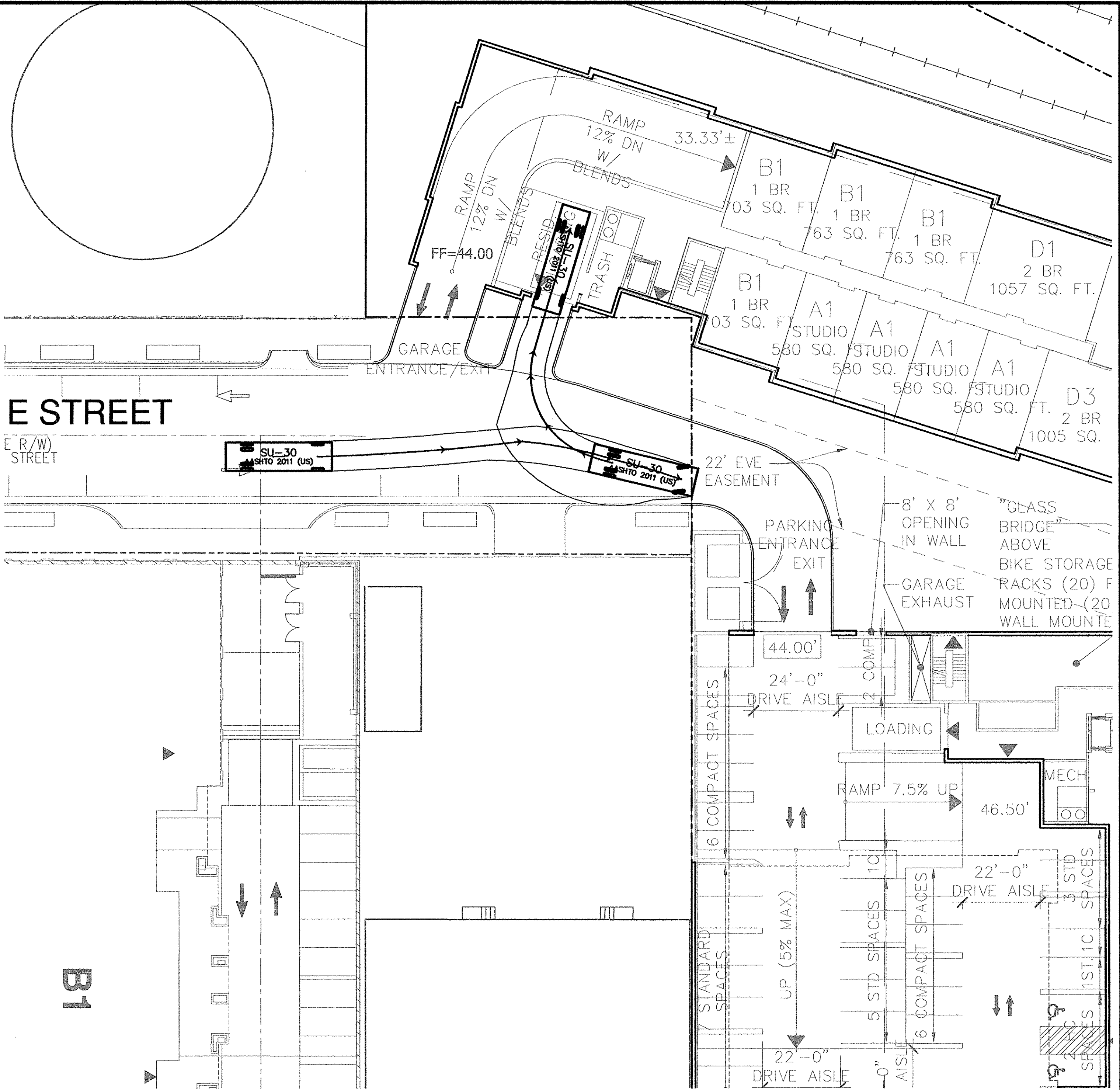
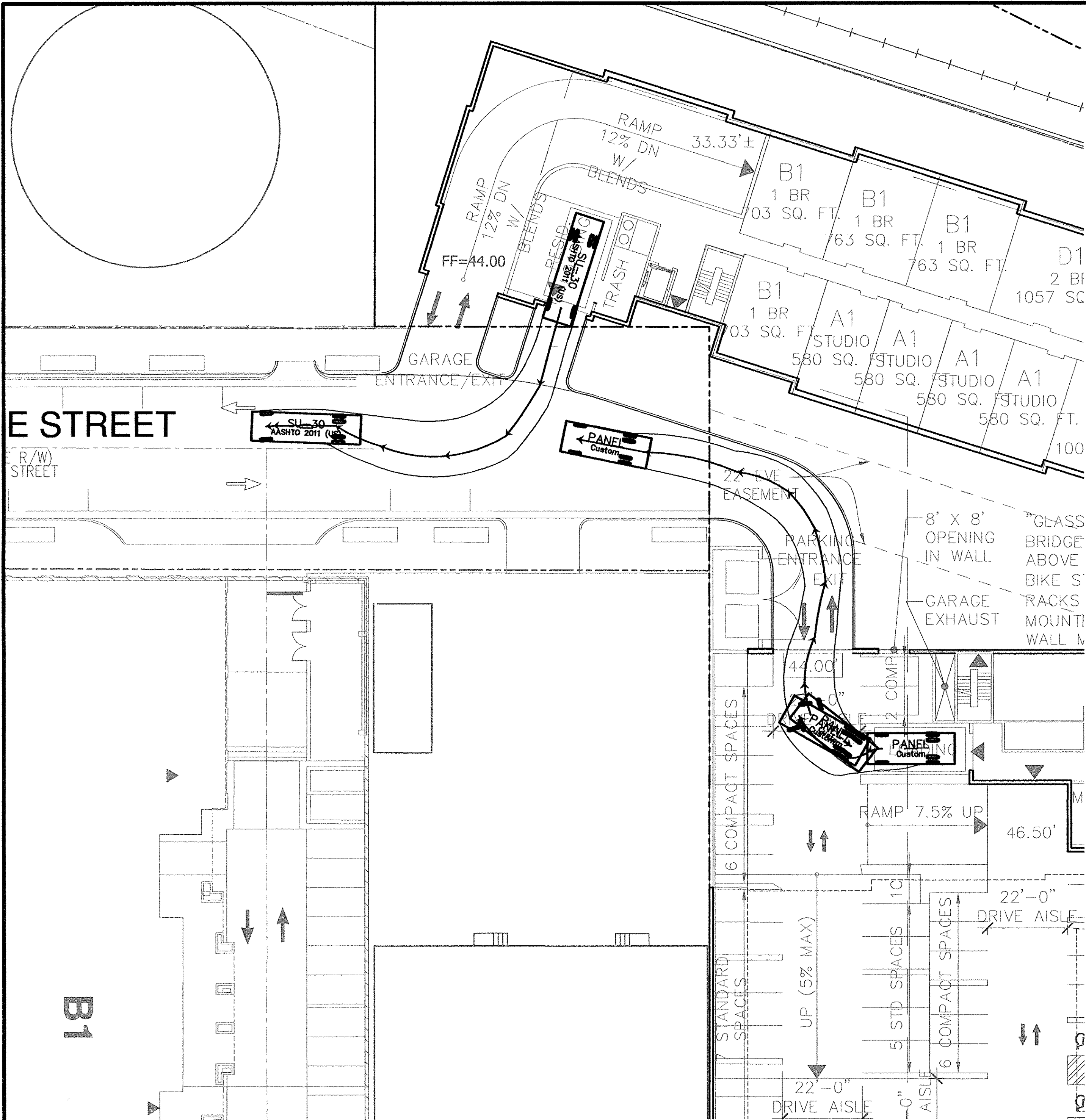
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FIRETRUCK TURNING MOVEMENTS (1 OF 2)
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP	DAP
DESIGN	DRAWN
SCALE	H: 1" = 20'
	V:
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004
SHEET	C12.00



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DEPARTMENT OF PLANNING & ZONING

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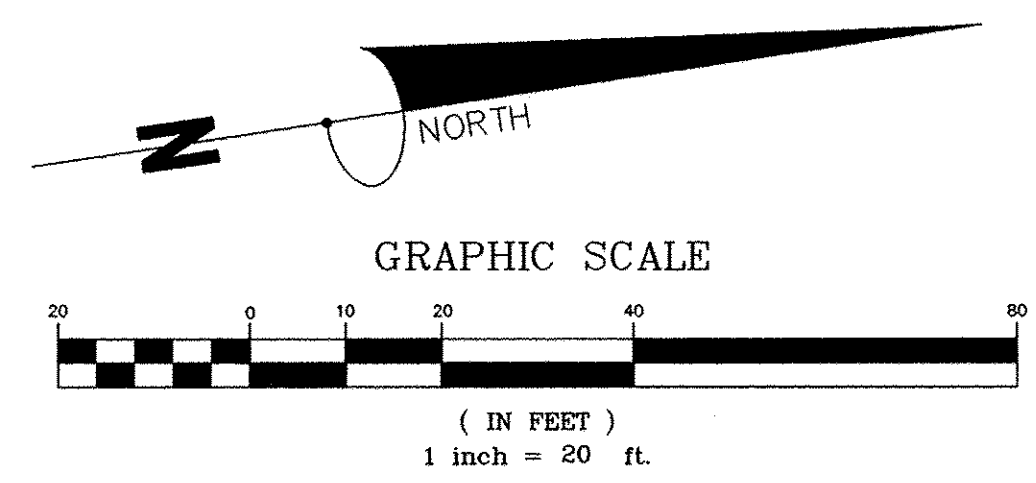
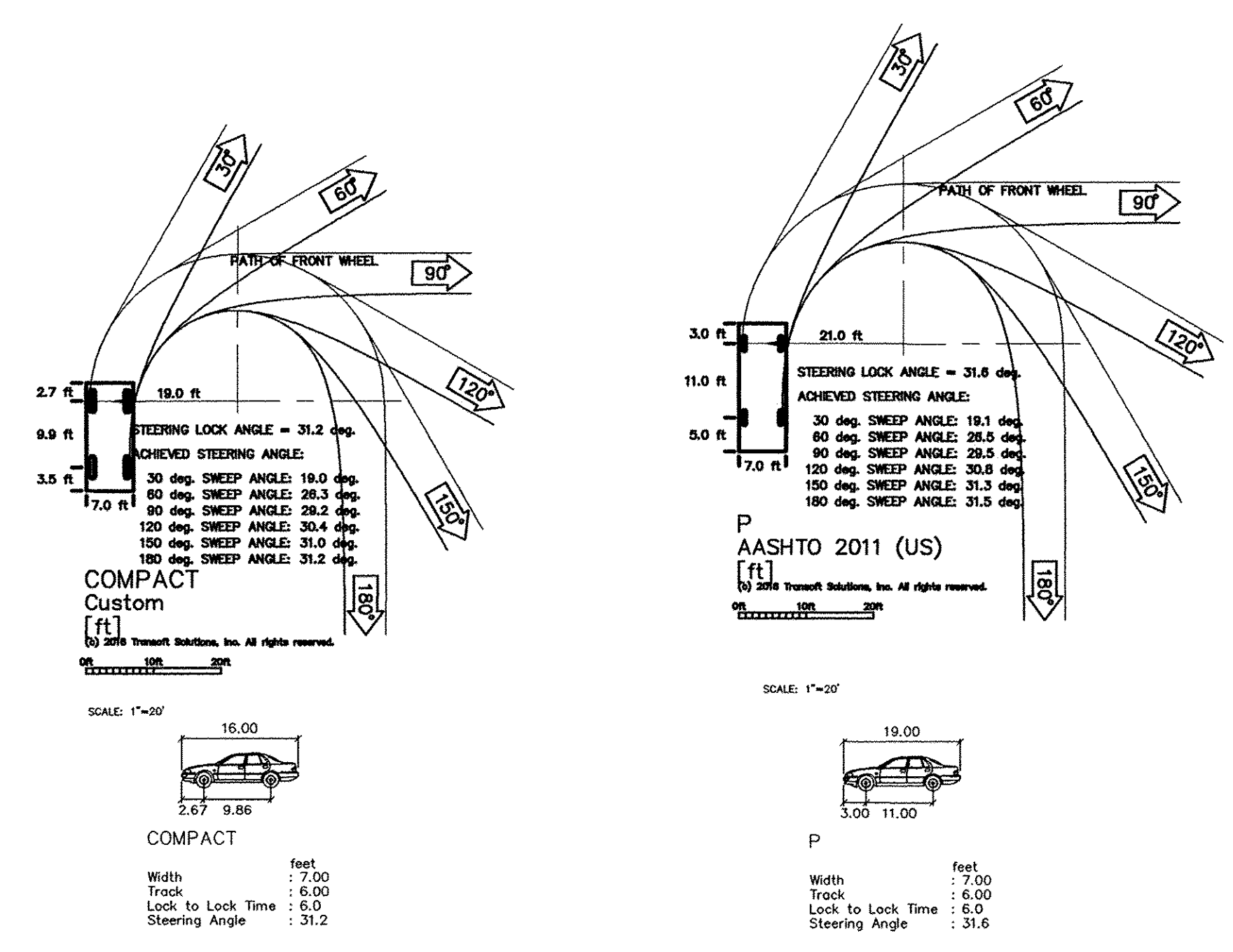
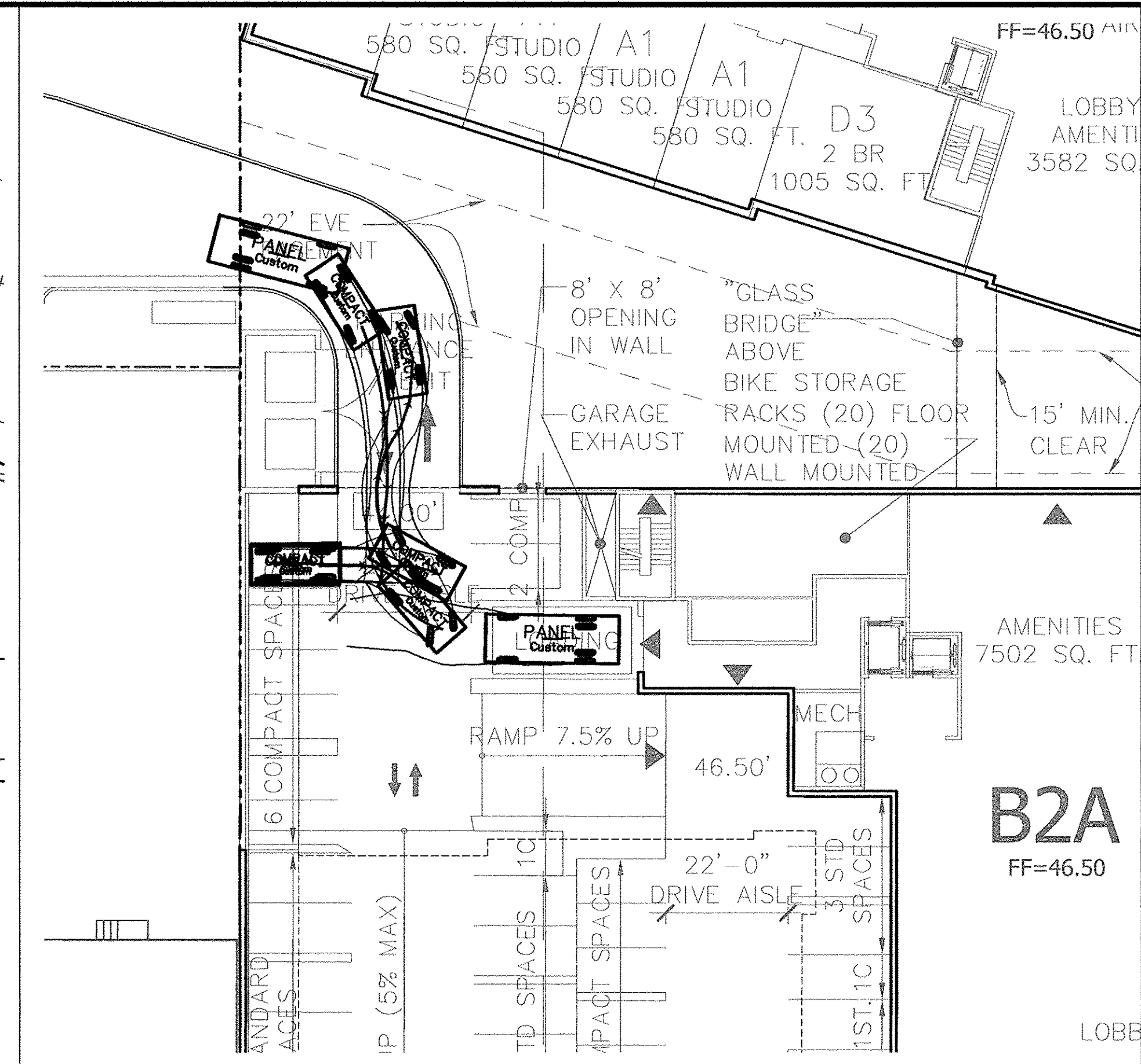
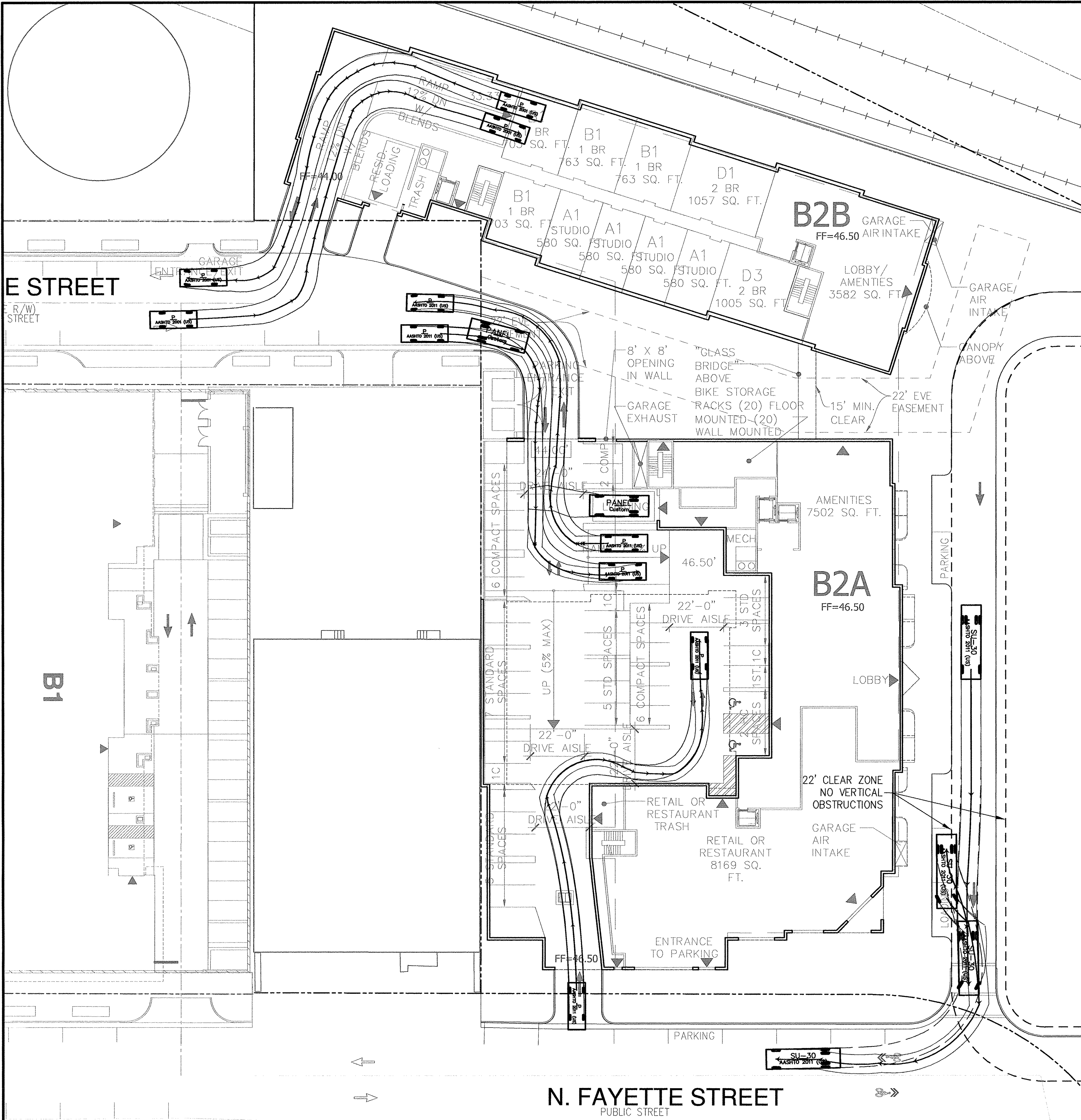
DELIVERY TRUCK TURNING MOVEMENTS
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA VIRGINIA

PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE DESCRIPTION
DAP DESIGN DAP DRAWN STL CHKD
SCALE H: 1" = 20'
V: _____
JOB No. 4101-02-004
DATE: MARCH 2017
FILE No. 4101-D-PR-004

SHEET C12.20



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PASSENGER CAR TURNING MOVEMENTS

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA

COMMISSIONER OF THE CITY OF ALEXANDRIA
STEVEN T. LIAM
Lic. No. 40224
3/9/17
PROFESSIONAL ENGINEER

PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
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STL CHKD	

SCALE: H: 1" = 20'
V: _____

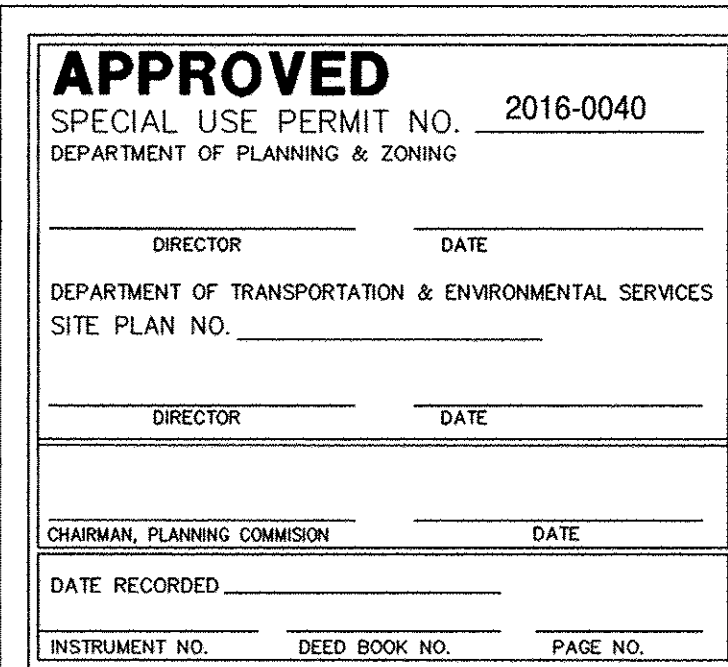
JOB No. 4101-02-004
DATE: MARCH 2017
FILE No. 4101-D-PR-004

SHEET C12.30

COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
3/9/18
PROFESSIONAL ENGINEER

DATE	DESCRIPTION	
DAP DESIGN	DAP DRAWN	STL CHKD
SCALE	H: 1" = 40' V:	
JOB No.	4101-02-00	
DATE :	MARCH 201	
FILE No.	4101-D-PR-00	

Code file name : P:\4101 - Braddock Gateway\4101-02-004 (ENG) - Braddock Gateway\Engineering Plans\9991P Phase 1\4101-0-P8-003-C13.00-SNP-SUBMISSION PLATTIN



CONSTRUCTION CLASSIFICATION		
FLOOR	BUILDING 2A	BUILDING 2B
Lower Garage	TYPE 1A	TYPE 1A
Upper Garage	TYPE 1A	TYPE 1A
Ground Floor	TYPE 1A	TYPE 1A
2nd Floor	TYPE 1A	TYPE 11A
3rd Floor	TYPE 11A	TYPE 11A
4th Floor	TYPE 11A	TYPE 11A
5th Floor	TYPE 11A	TYPE 11A
6th Floor	TYPE 11A	TYPE 11A
7th Floor	TYPE 11A	

Building 2A &2B Statistics Breakdown																								
Building Statistics									Parking Provided															
		Gross Floor Area (gsf)	Net Floor Area (nsf)	Unit Type A Studio	Unit Type B(Jr) 1BR(JR)	Unit Type B 1BR	Unit Type C 1BR+DEN	Unit Type D 2BR	Unit Type E 2BR+Den	Total (Units/ Req'd Pkg)							Total Parking Provided	On-Site (around the park and on the new Fayette St. extension)						
Building 2	Building 2A	Ground Floor	34,853	33,837						0	Lower Level G2	Upper Level G1	Ground Floor Residential (Covered Only)	Ground Floor Retail (Covered Only)										
		Retail*	8,169	8,169																				
		Covered Parking	16,433	16,433																				
		Floor 2	27,179	24,461	3	0	11	7	4	25														
		Floor 3	26,741	24,067	3	2	13	7	4	29														
		Floors 4-6	25,526	22,973	3	2	17	3	4	29														
		Floor 7	15,664	14,098	3	2	9	3	0	17														
	Building 2B	Total Building 2A (Units/sf)	181,025	165,383	18	10	84	26	20	-	158	Compact	Standard	Handicapped					Compact	Standard	Handicapped	Compact	Standard	Handicapped
		Unit Mix			11%	6%	53%	16%	13%	0%														
		Ground Floor	17,145	15,431	4	0	4	0	2	10														
Floor 2		17,038	15,334	4	0	8	0	6	18															
Floor 3		17,038	15,334	4	0	8	0	6	18															
Floors 4-6		17,038	15,334	4	0	8	0	6	18															
Floor 7									0															
Total 2A + 2B	Total Building 2B (Units/sf)	102,335	92,102	24	-	44	-	32	-	100	73	25	4	73	27	4	11	7	1	6	14	1		
	Unit Mix			24%	0	44%	0%	32%	0%															
	Total Building 2A + 2B (Units/sf)	283,360	257,484	42	10	128	26	52	-	258														
	Unit Mix			16%	4%	50%	10%	20%	0%															
	Parking Required (Resid.)			30.2	7.2	92.2	18.7	74.9	-	224														
	Parking Required (Retail)									21														
	Total Parking Required Bldg 2									245													102	104

COMMONWEALTH OF VIRGINIA
JOHN W. RUST
3940
03/07/17
ARCHITECT

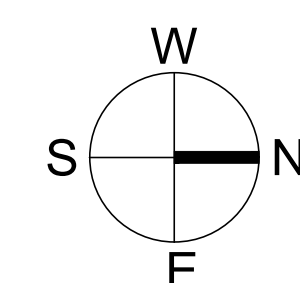
1215 CAMERON STREET
ALEXANDRIA, VA
22314

14.010

DATE	DESCRIPTION

SHEET NO.

A1.1



<div>APPROVED</div> <div>SPECIAL USE PERMIT NO. _____</div> <div>DEPARTMENT OF PLANNING & ZONING</div> <div>_____</div> <div>DIRECTOR</div> <div>DATE</div> <div>DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES</div> <div>SITE PLAN NO. _____</div> <div>_____</div> <div>DIRECTOR</div> <div>DATE</div>	
<div>CHAIRMAN, PLANNING COMMISSION</div> <div>DATE</div>	
<div>DATE RECORDED</div> <div>_____</div>	
<div>INSTRUMENT NO.</div>	<div>DEED BOOK NO.</div>
<div>PAGE NO.</div>	



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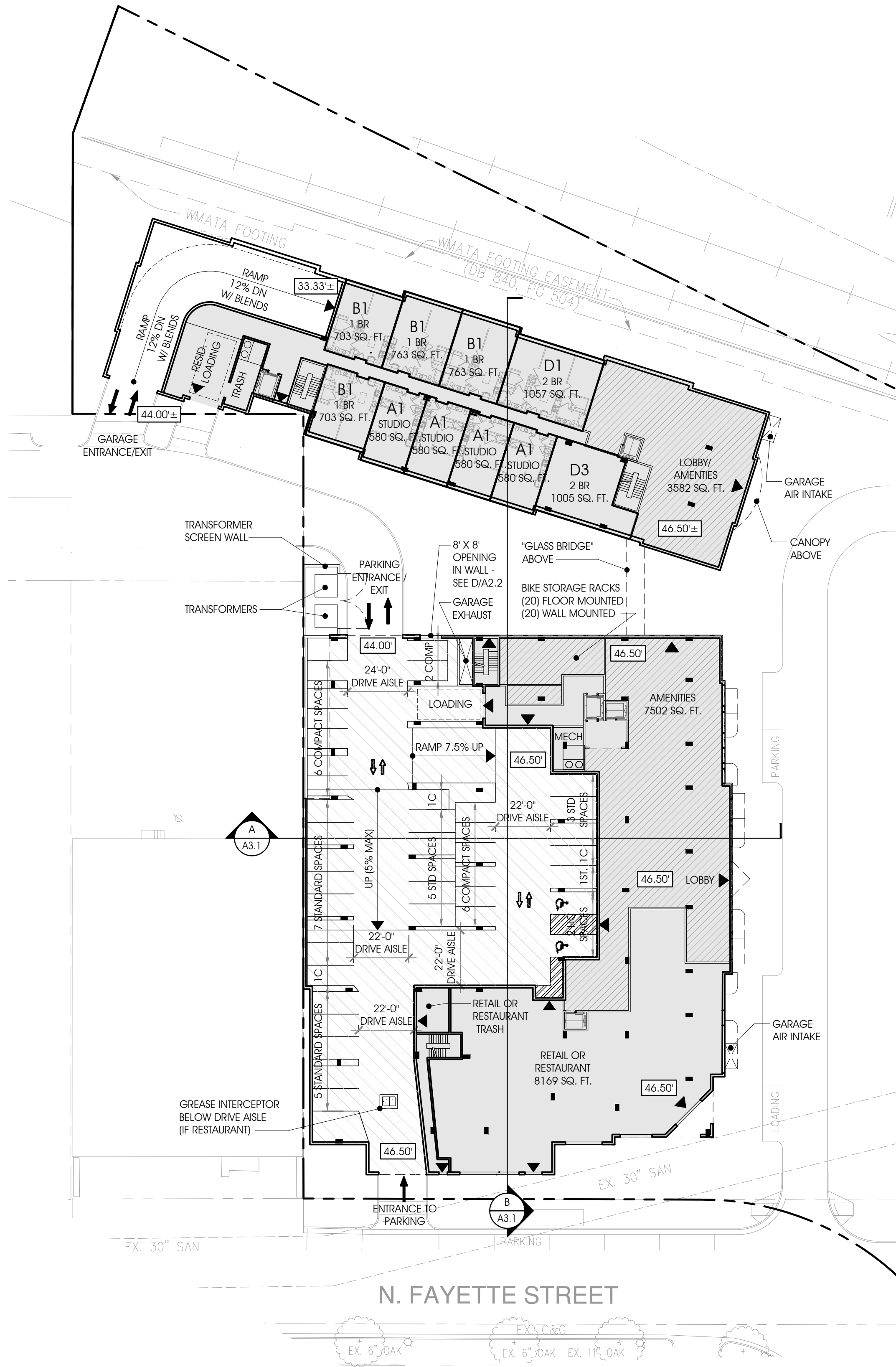
GROUND AND SECOND FLOOR PLANS

SHEET NO.

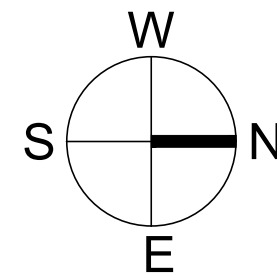
A1.2



SECOND FLOOR PLAN
1/32" = 1'-0"



GROUND FLOOR PLAN
1/32" = 1'-0"



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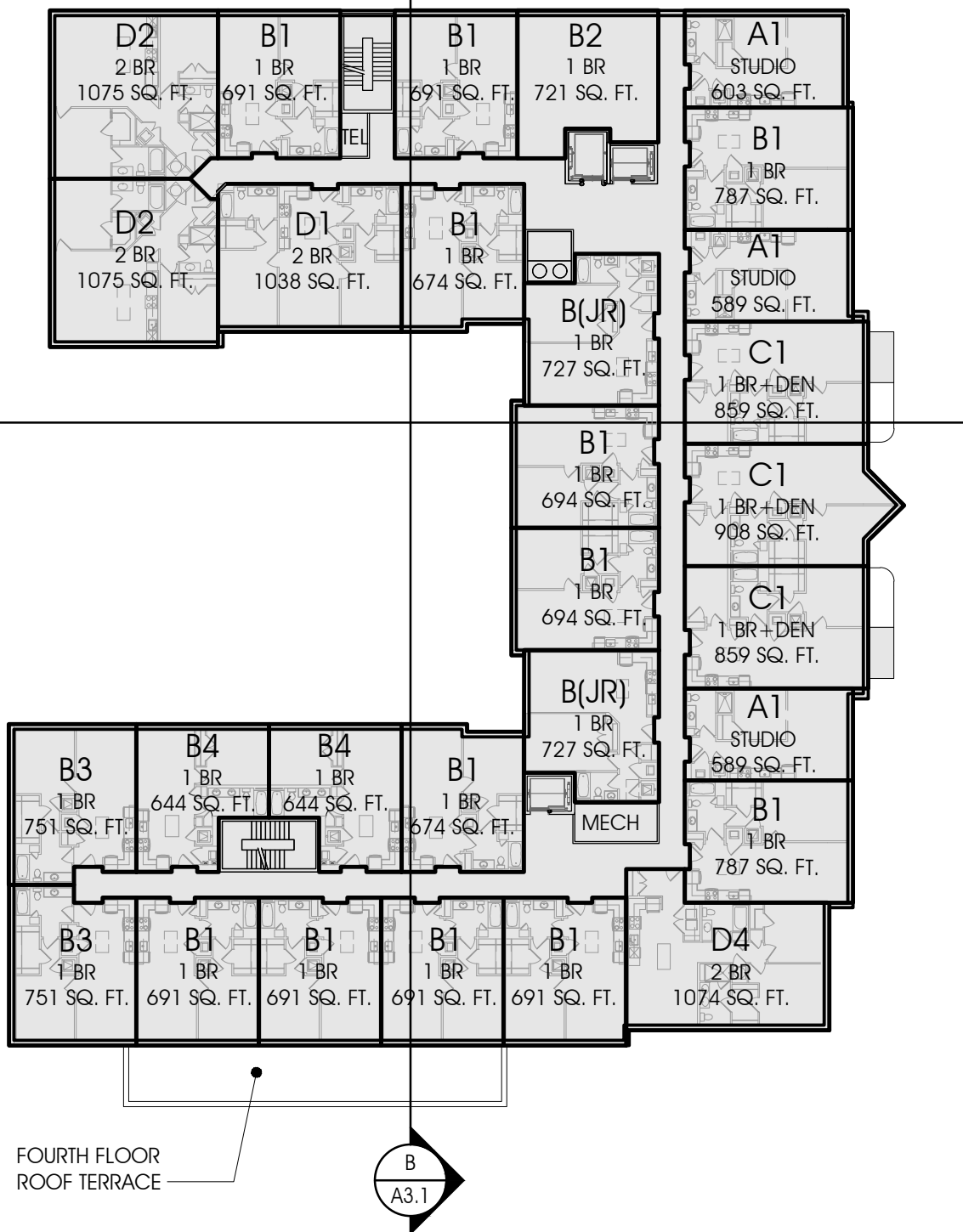
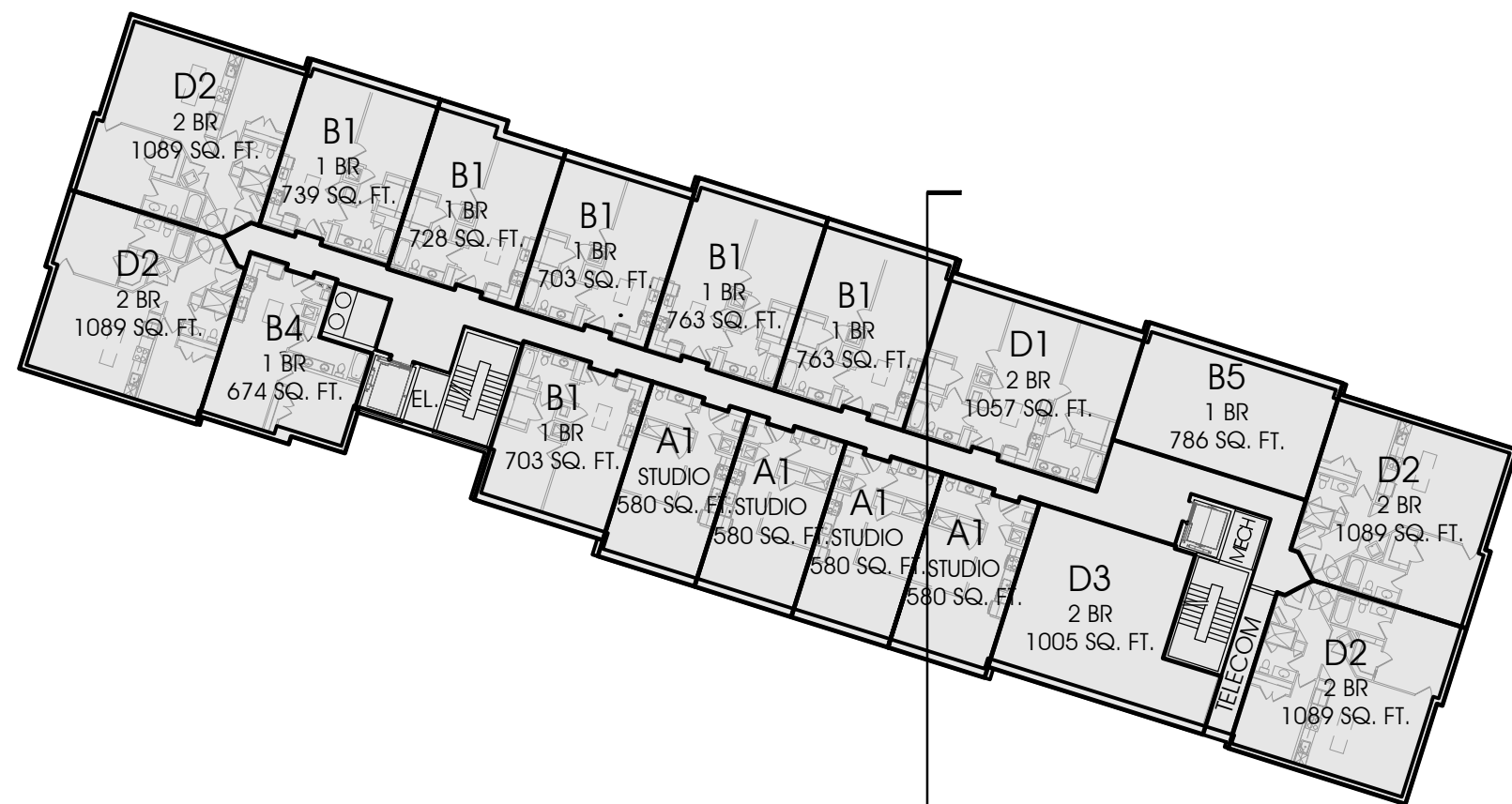
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THIRD AND FOURTH
FLOOR PLANS

SHEET NO.

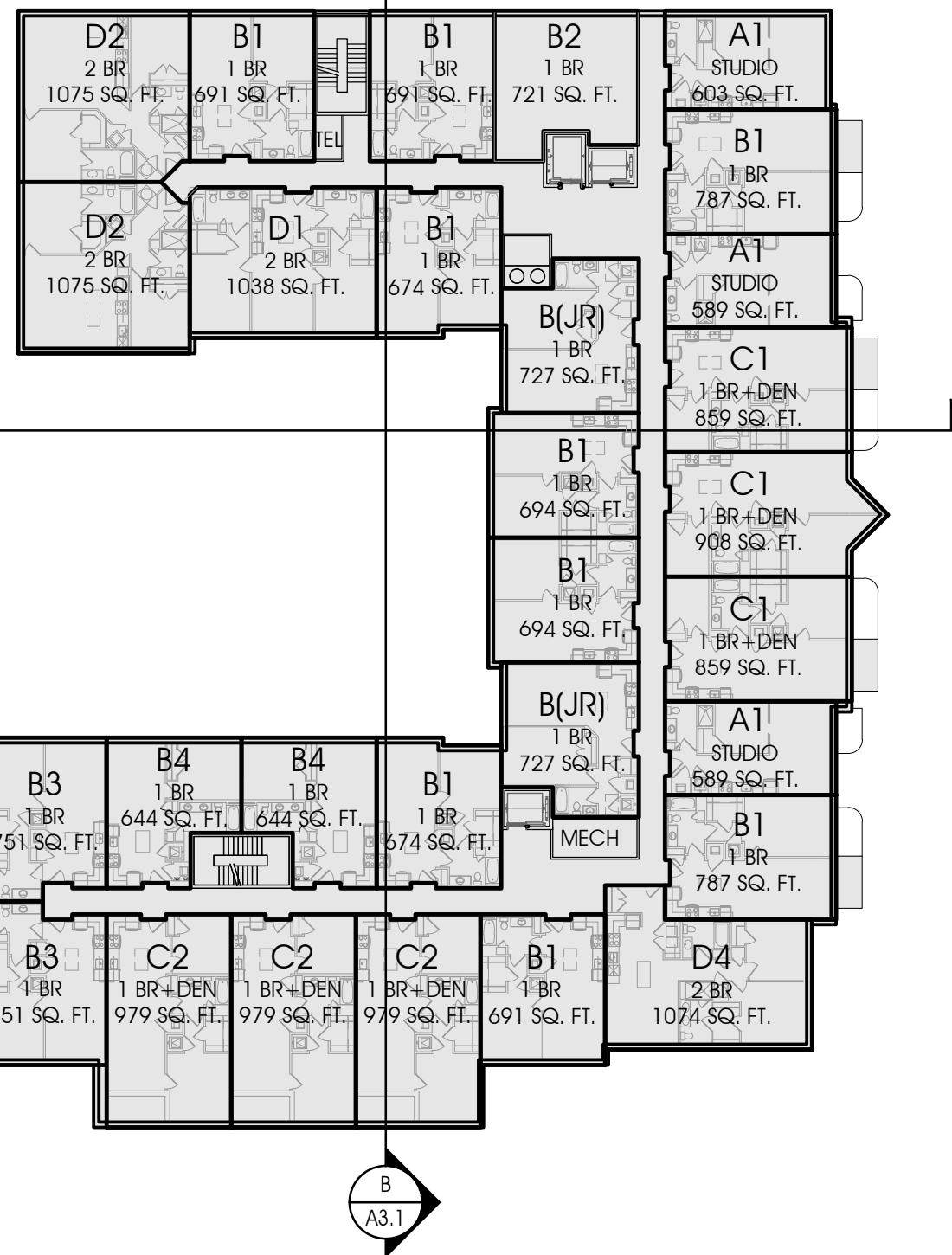
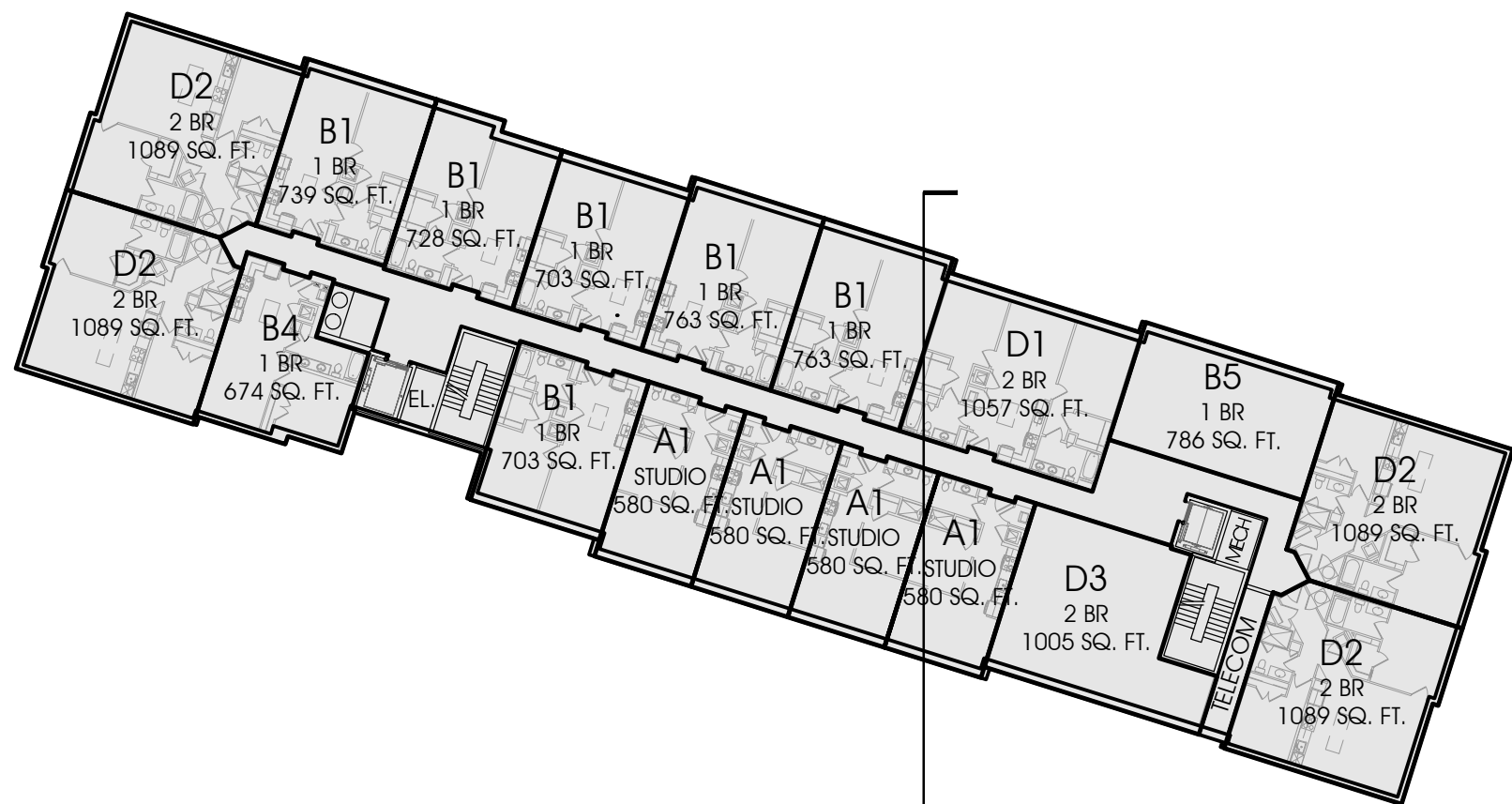
A1.3



FOURTH FLOOR
ROOF TERRACE

B

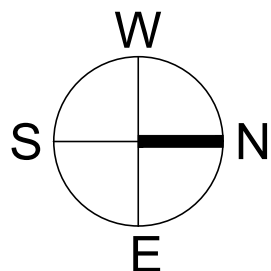
FOURTH FLOOR PLAN
1/32" = 1'-0"



THIRD FLOOR
ROOF TERRACE

A

THIRD FLOOR PLAN
1/32" = 1'-0"



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FIFTH AND SIXTH FLOOR PLANS

SHEET NO.

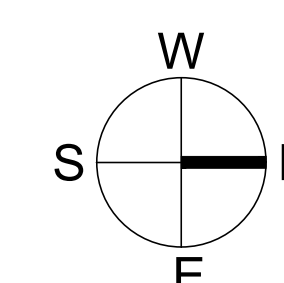
A1.4



SIXTH FLOOR PLAN



FIFTH FLOOR PLAN
1/32" = 1'-0"



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INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

1. HEIGHTS SHOWN ARE APPROXIMATE
2. ROOF TERRACES SHOWN ARE POTENTIAL OPEN SPACE. FINAL EXTENT OF ROOF TERRACES TO BE DETERMINED.



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SEVENTH FLOOR
PLAN AND
ROOF PLAN

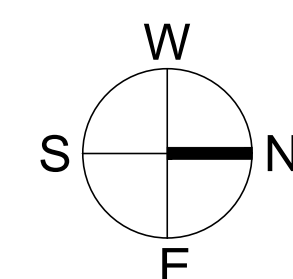
A1.5



ROOF PLAN
1/32" = 1'-0"



SEVENTH FLOOR PLAN
1/32" = 1'-0"

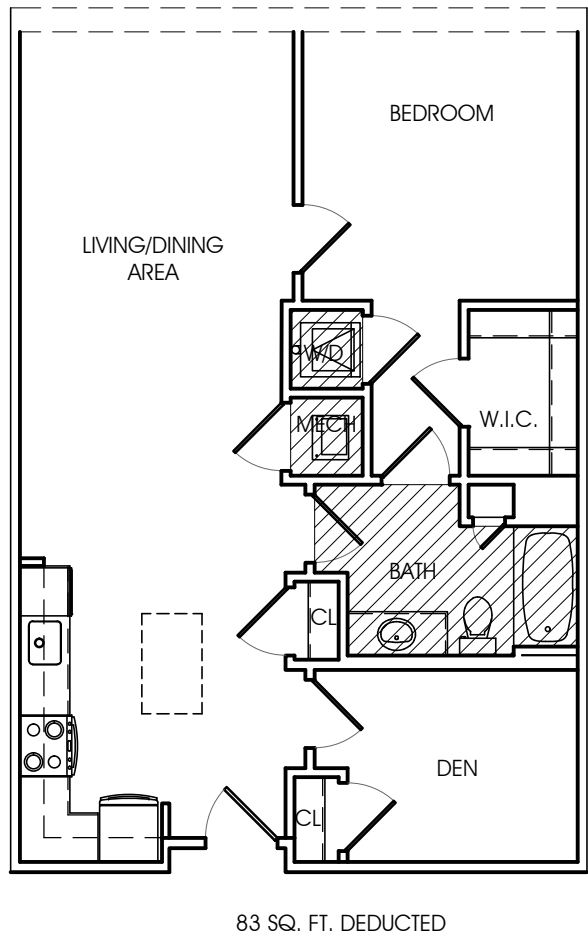


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DSUP #2016-0040	
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____	_____
DIRECTOR	DATE

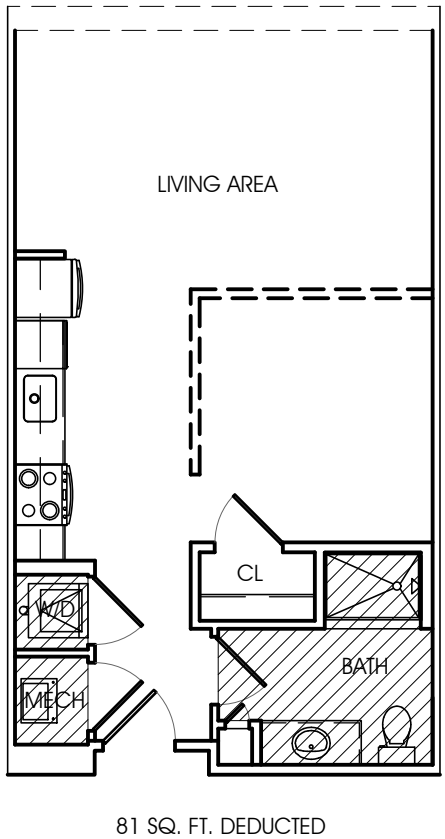
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	

INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

Proposed FAR Deduction Summary (Both Buildings)							
			Unit Quantity			Area Deducted (sf)	Total Deductions (sf)
			Building 2A	Building 2B	Total Building 2A & 2B		
Potential Floor Area Deductions	Typical Residential Unit Calculations	Typical Efficiency Type A Unit	18	24	42	81	3,402
		Typical One Bedroom Type B(Jr) Unit	10	0	10	64	640
		Typical One Bedroom Type B Unit	84	44	128	83	10,624
		Typical One Bedroom + Den Type C Unit	26	0	26	83	2,158
		Typical Two Bedroom Type D Unit	10	12	22	149	3,278
		Typical Two Bedroom Type D Corner Unit	10	20	30	144	4,320
		Total Unit Deductions					24,422
	Common Space Calculations	1st Floor Common Space Deductions (Bldg 2A)				710	710
		1st Floor Common Space Deductions (Bldg 2B)				3,515	3,515
		2nd Floor Common Space Deductions (Bldg 2A) (3rd Floor Similar)				849	1,698
		2nd Floor Common Space Deductions (Bldg 2B) (3rd Floor Similar)				751	1,502
		4th Floor Common Space Deductions (Bldg 2A) (5th & 6th Floors Similar)				849	2,547
		4th Floor Common Space Deductions (Bldg 2B) (5th & 6th Floors Similar)				751	2,253
		7th Floor Common Space Deductions (Bldg 2A)				849	849
		7th Floor Common Space Deductions (Bldg 2B)				n/a	n/a
		Total Common Space Deductions					13,074
		Total Potential Deductions (See Note 3)					37,496
		Deductions as % of Gross Floor area (See Note 1)					13.2%
	Proposed Floor Area Deduct.	Total Floor Gross Area (See Note 2)					283,360
Total Floor Net Area						257,844	
Total Deductions Proposed						25,876	
Deductions as % of Gross Floor area (See Note 1)						9.1%	
General Notes							
1. Total deductions for residential area will not exceed 15% of gross residential area							
2. Gross floor area is all above grade floor area measured to the outside face of all exterior walls and includes all covered balconies per Alexandria Zoning Ordinance section 2-145-Floor Area.							
3. Potential deductions include stairways, mechanical spaces/elevator shafts/vertical chases, and ceilings under 7'-6" per Alexandria Zoning Ordinance section 2-145-Floor Area							



(D) TYPICAL ONE BEDROOM + DEN TYPE C UNIT
1/8" = 1'-0"



A **TYPICAL STUDIO TYPE A UNIT**
1/8" = 1'-0"

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FAR DIAGRAMS

SHEET NO.

A1.6



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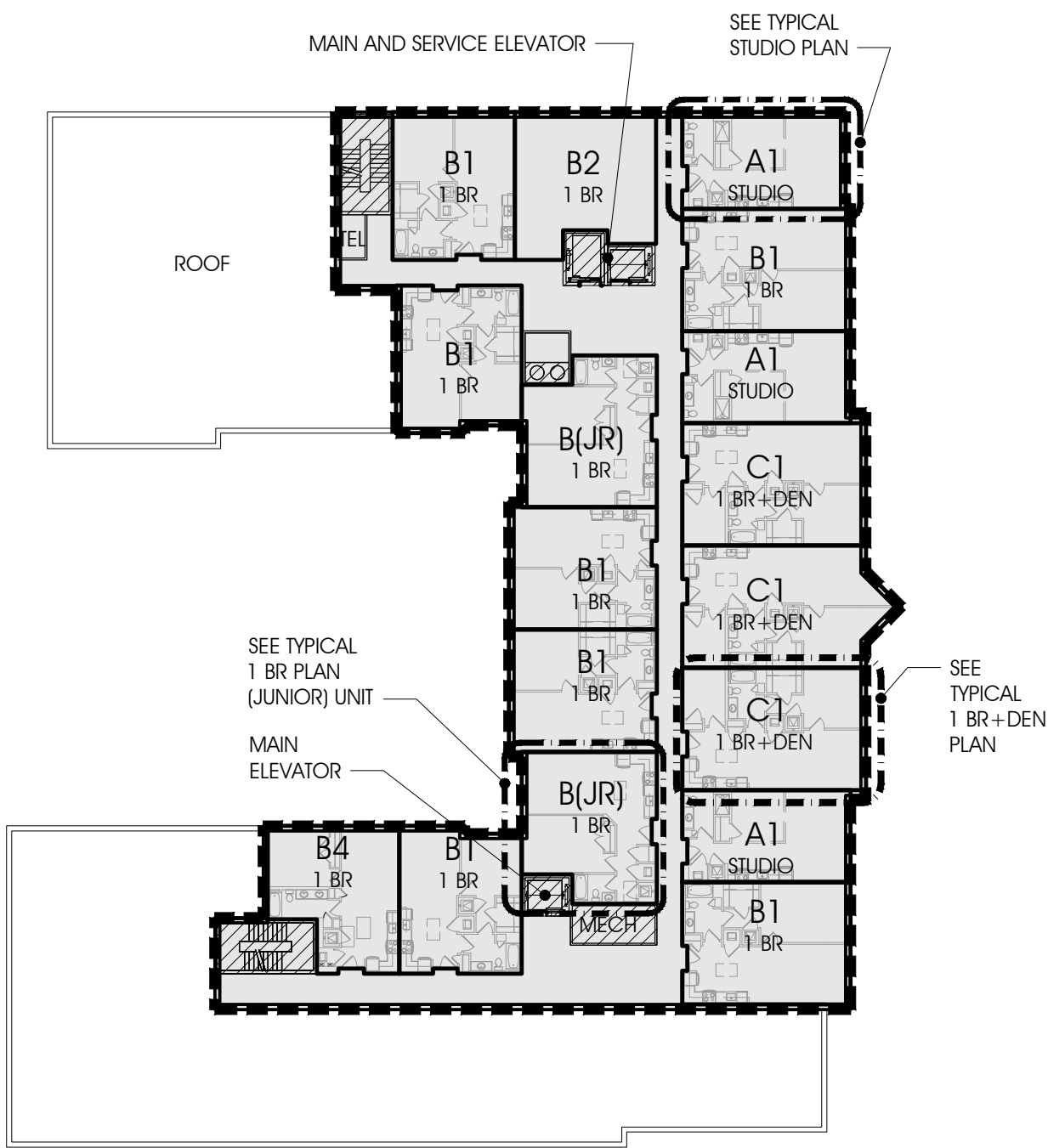
PRELIMINARY
DSUP
03.07.17

FAR DIAGRAMS

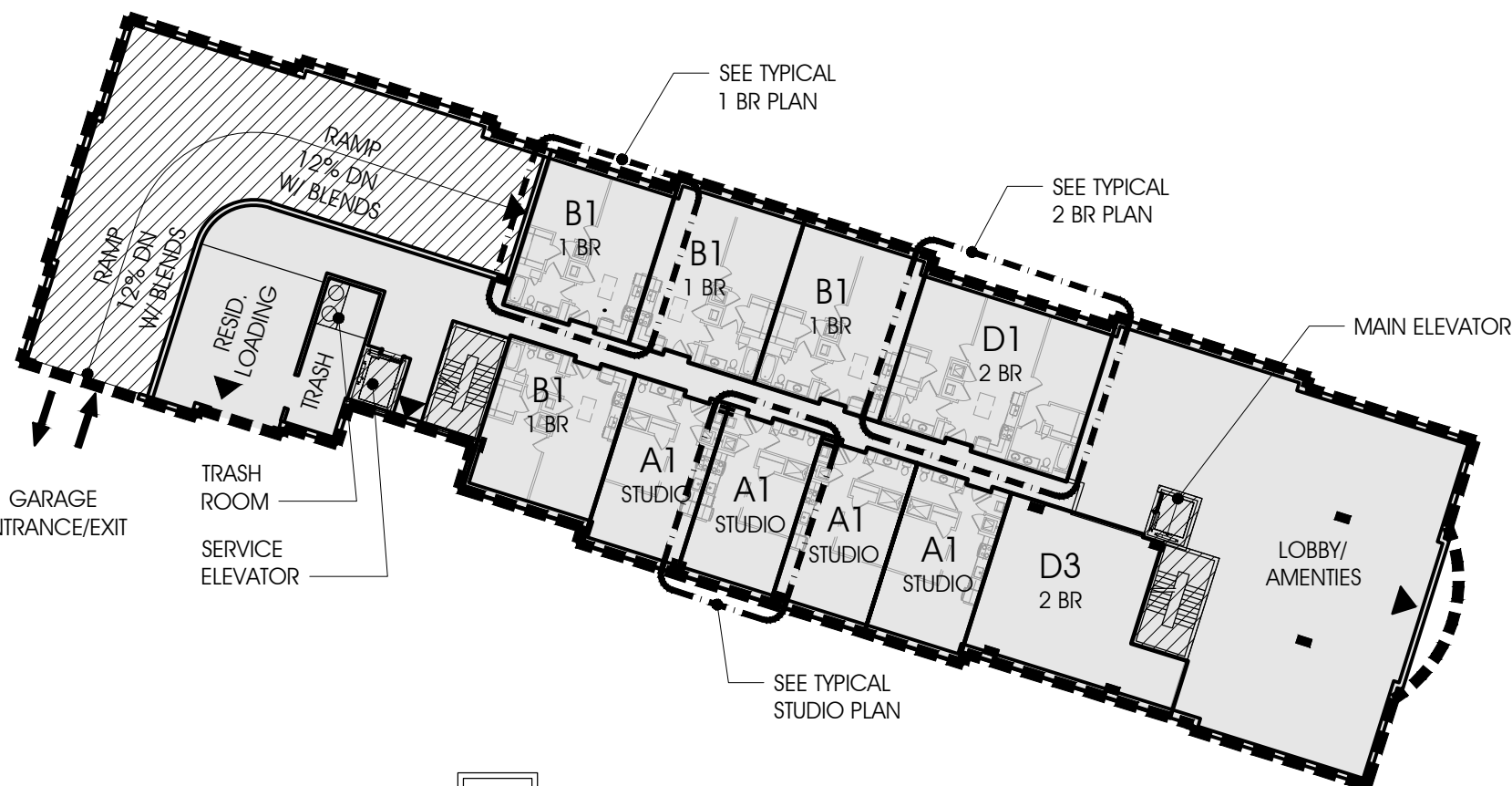
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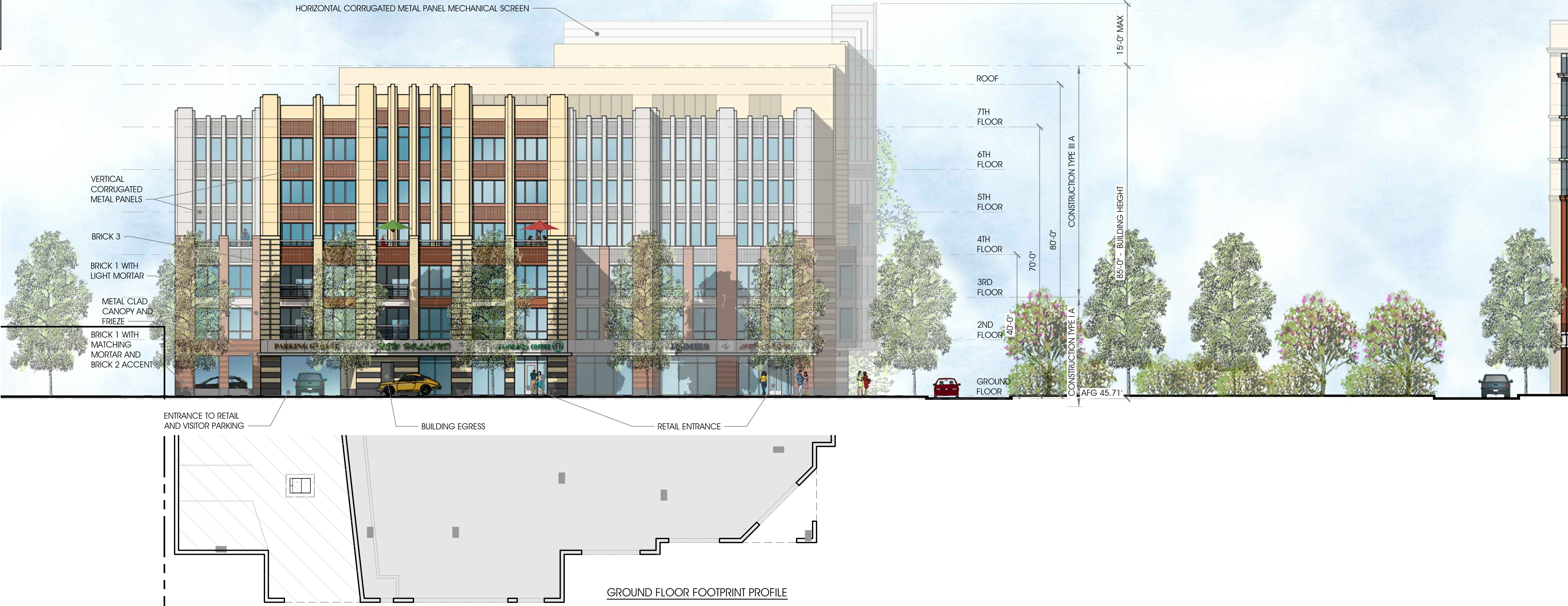
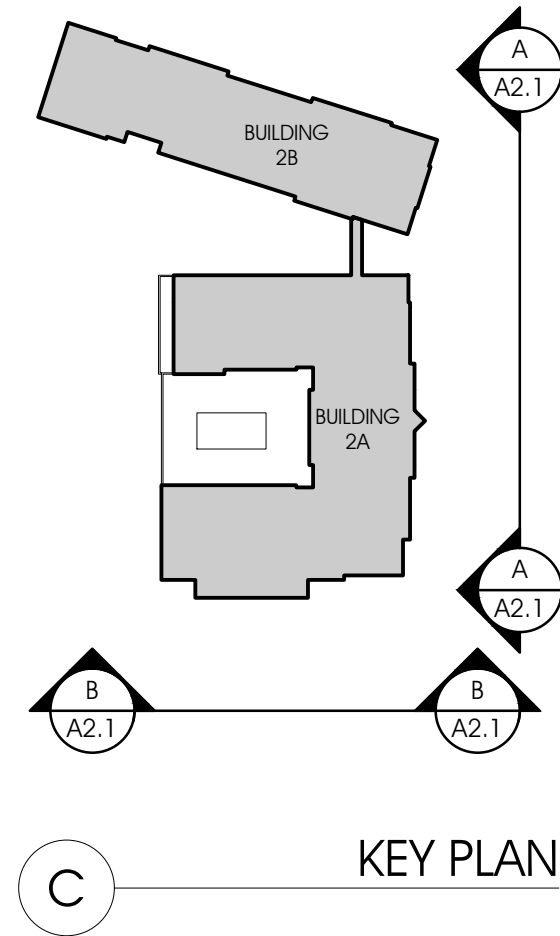
COMMON SPACE DEDUCTIONS:
BLDG 2A: 849 SQ. FT.



BUILDING 2A 7TH FLOOR PLAN
1/32" = 1'-0"



GENERAL NOTE:
MAXIMUM BUILDING HEIGHT TO ROOF
LIMITED TO 85' FOR TYPE III CONSTRUCTION.
FEATURES ABOVE 85' ARE MECHANICAL
SCREENS PER IBC 1509.6



BUILDING 2A EAST ELEVATION (N.FAYETTE ST)
1/16" = 1'-0"



NOTE:
BUILDING 2B SHOWN AT AN ANGLE. SEE A2.3 & A2.4 FOR BUILDING 2B ELEVATIONS.

BUILDING 2A NORTH ELEVATION
1/16" = 1'-0"



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BUILDING 2A
ELEVATIONS

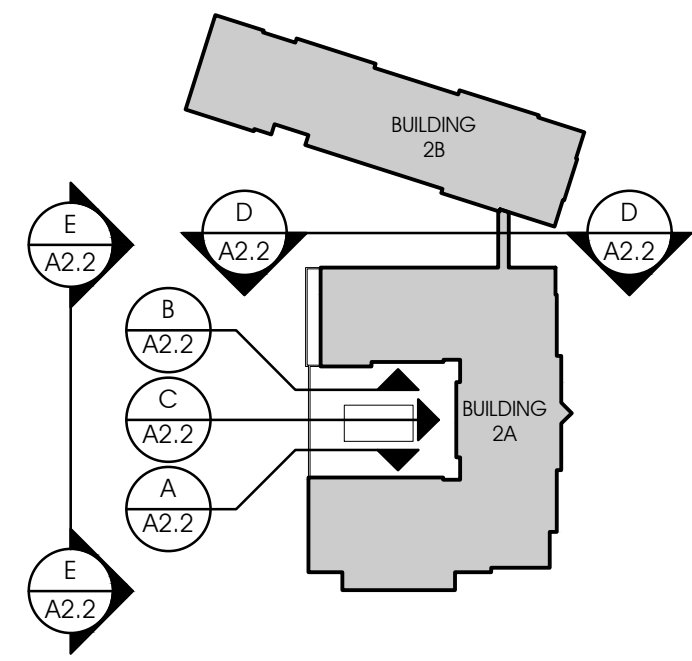
SHEET NO.

A2.1

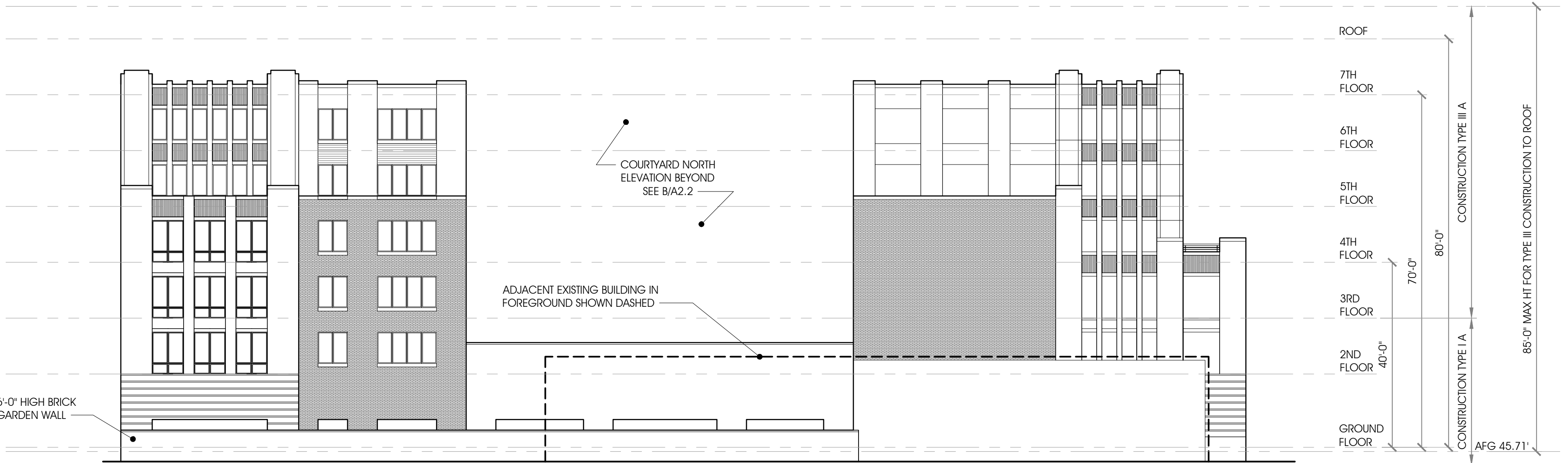
APPROVED
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE		
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

GENERAL NOTE:
MAXIMUM BUILDING HEIGHT TO ROOF LIMITED TO 85' FOR TYPE III CONSTRUCTION. FEATURES ABOVE 85' ARE MECHANICAL SCREENS PER IBC 1509.6



F KEY PLAN



E BUILDING 2A SOUTH ELEVATION
1/16" = 1'-0"



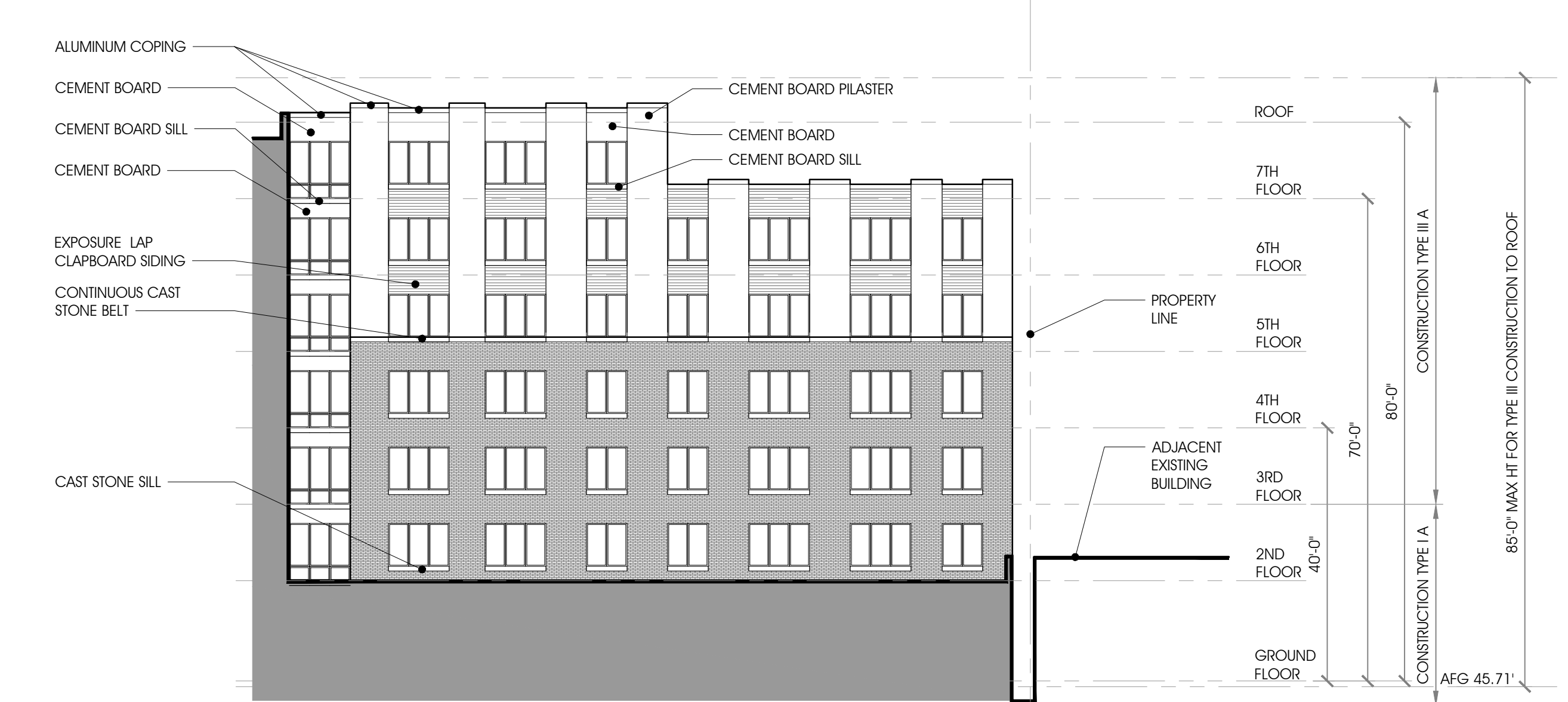
D BUILDING 2A WEST ELEVATION
1/16" = 1'-0"



C BUILDING 2A COURTYARD WEST ELEVATION
1/16" = 1'-0"



B BUILDING 2A COURTYARD NORTH ELEVATION
1/16" = 1'-0"



A BUILDING 2A COURTYARD EAST ELEVATION
1/16" = 1'-0"



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BUILDING 2A
ELEVATIONS

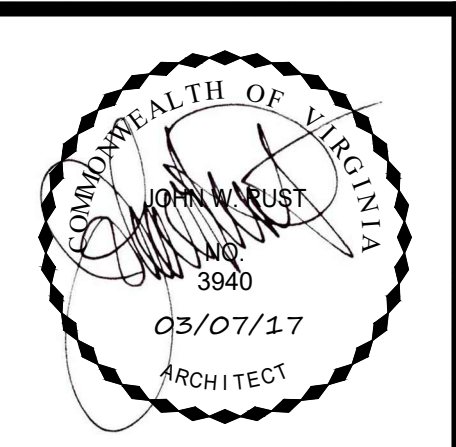
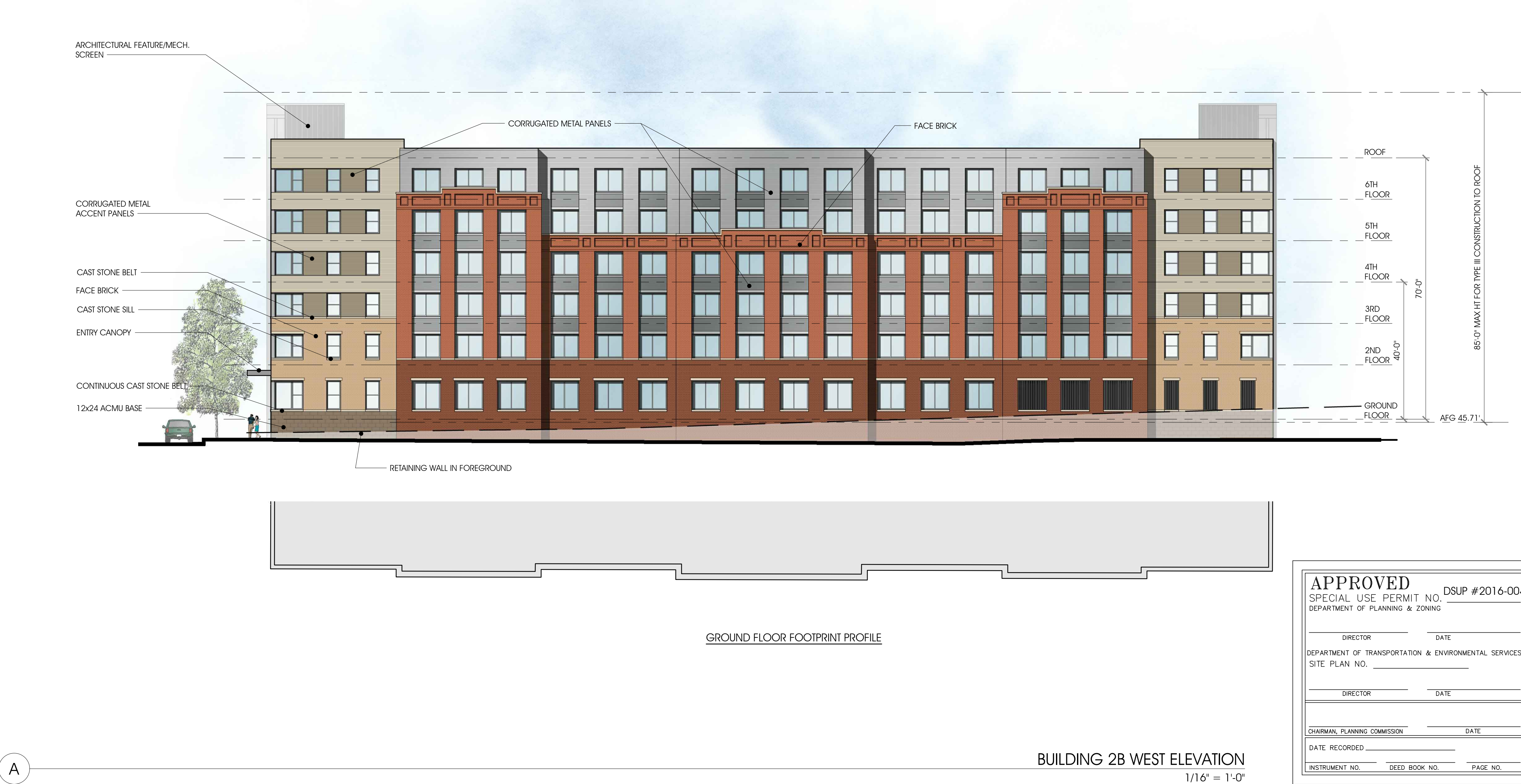
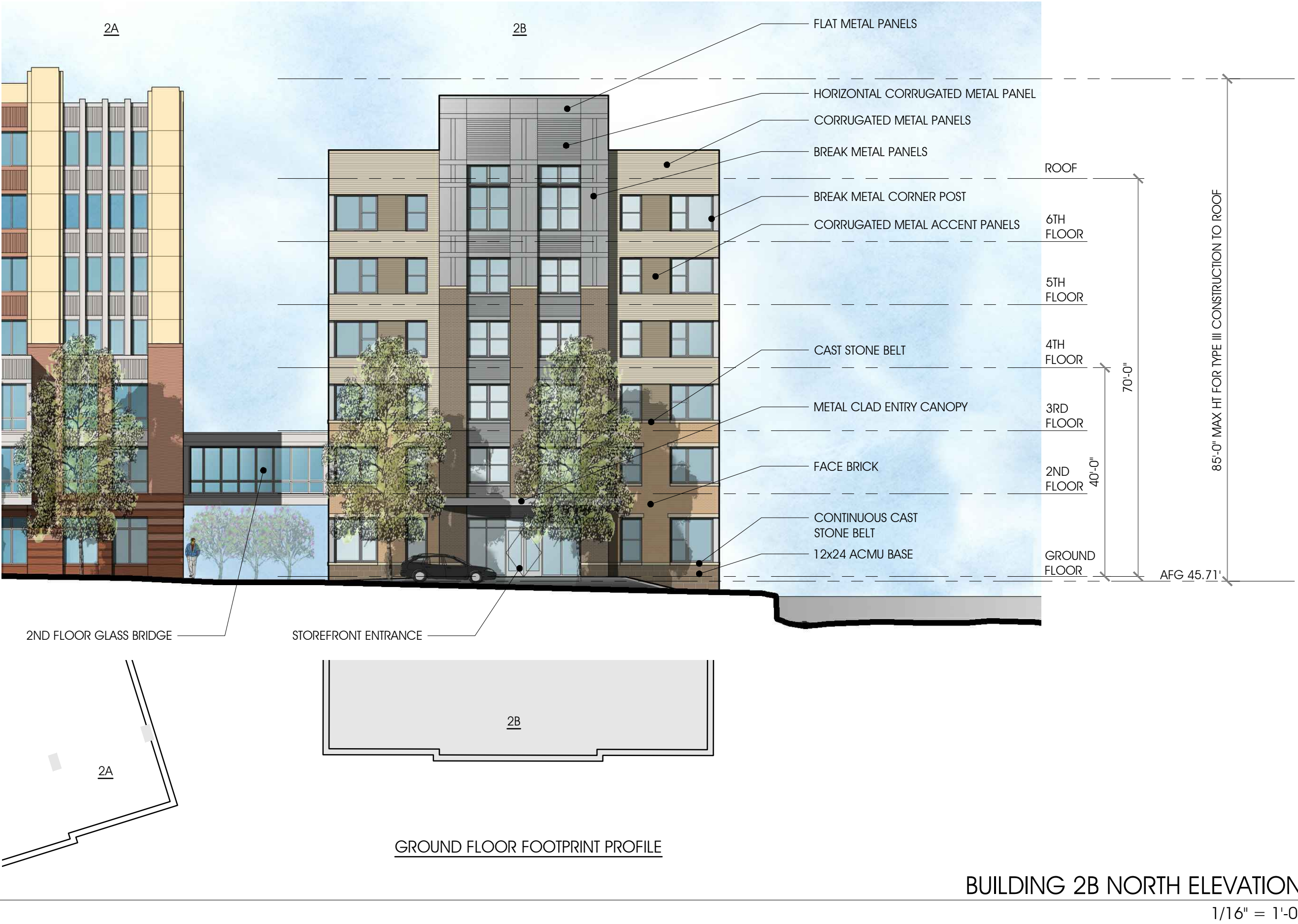
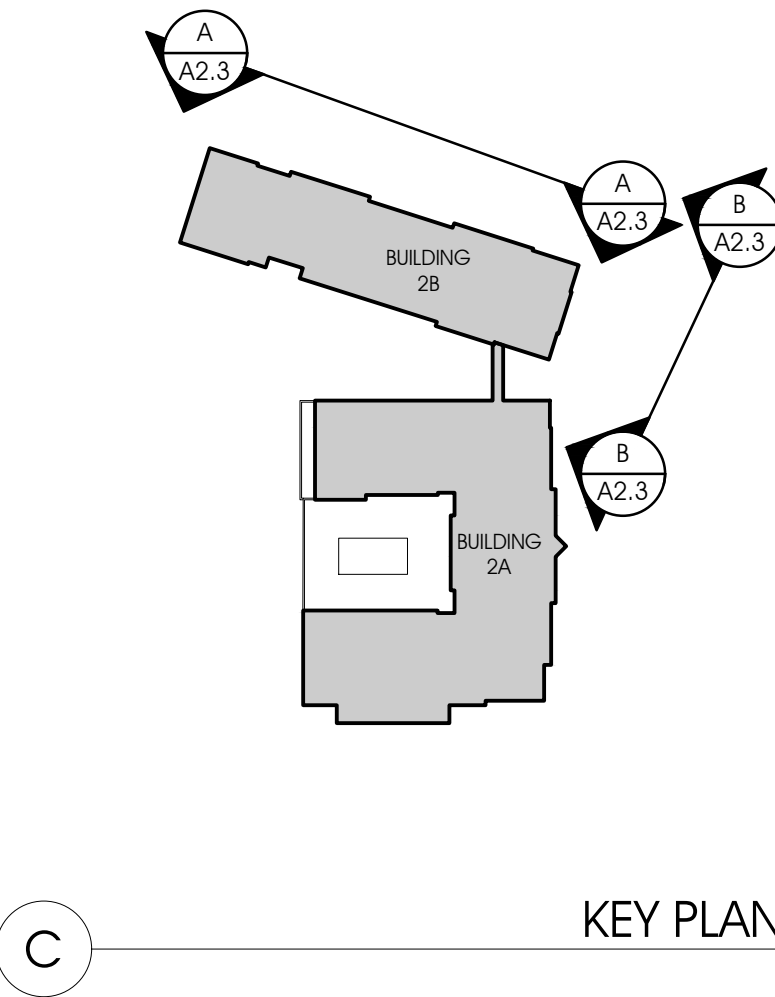
SHEET NO.
A2.2

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DIRECTOR _____ DATE _____

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DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

GENERAL NOTE:
MAXIMUM BUILDING HEIGHT TO ROOF LIMITED TO 85' FOR TYPE III CONSTRUCTION. FEATURES ABOVE 85' ARE MECHANICAL SCREENS PER IBC 1509.6



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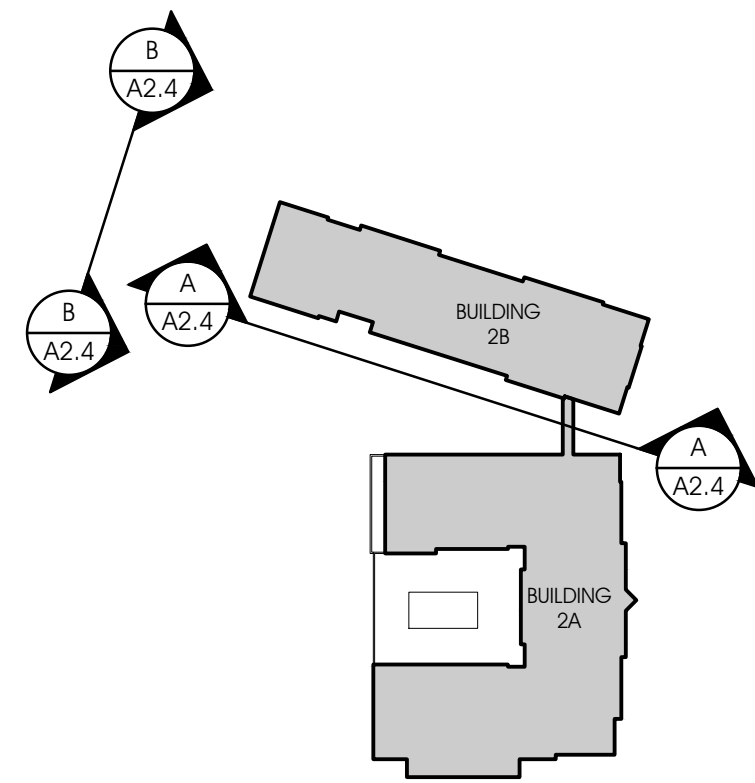
PRELIMINARY DSUP
03.07.17

BUILDING 2B ELEVATIONS

SHEET NO.
A2.3

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SITE PLAN NO.	
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INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

GENERAL NOTE:
MAXIMUM BUILDING HEIGHT TO ROOF LIMITED TO 85' FOR TYPE III CONSTRUCTION. FEATURES ABOVE 85' ARE MECHANICAL SCREENS PER IBC 1509.6



C KEY PLAN



B SEE B/A2.3 FOR TYPICAL NOTES
BUILDING 2B SOUTH ELEVATION
1/16" = 1'-0"



A SEE A/A2.3 FOR TYPICAL NOTES
BUILDING 2B EAST ELEVATION
1/16" = 1'-0"

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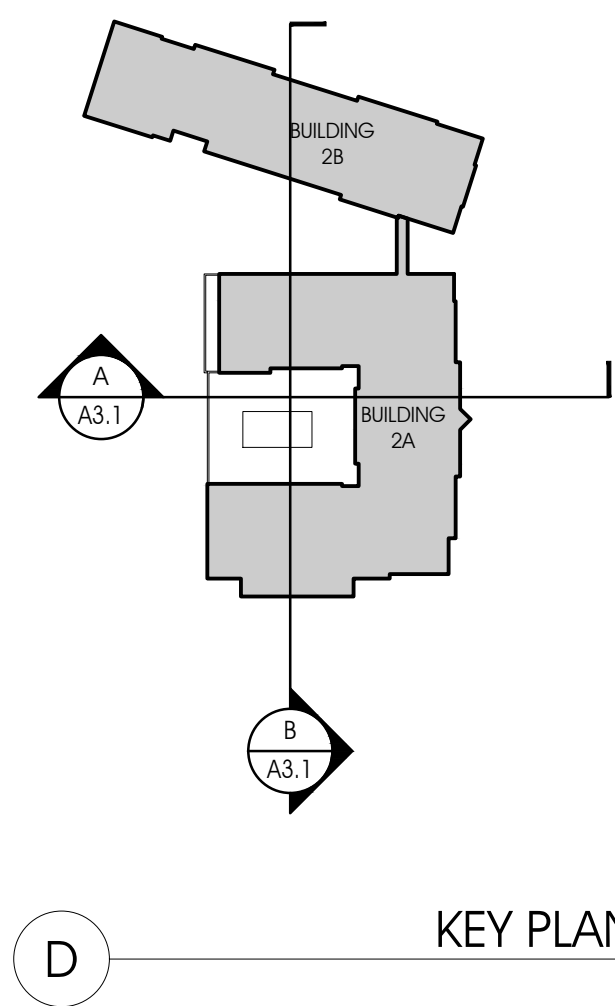
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BUILDING 2B
ELEVATIONS

SHEET NO.

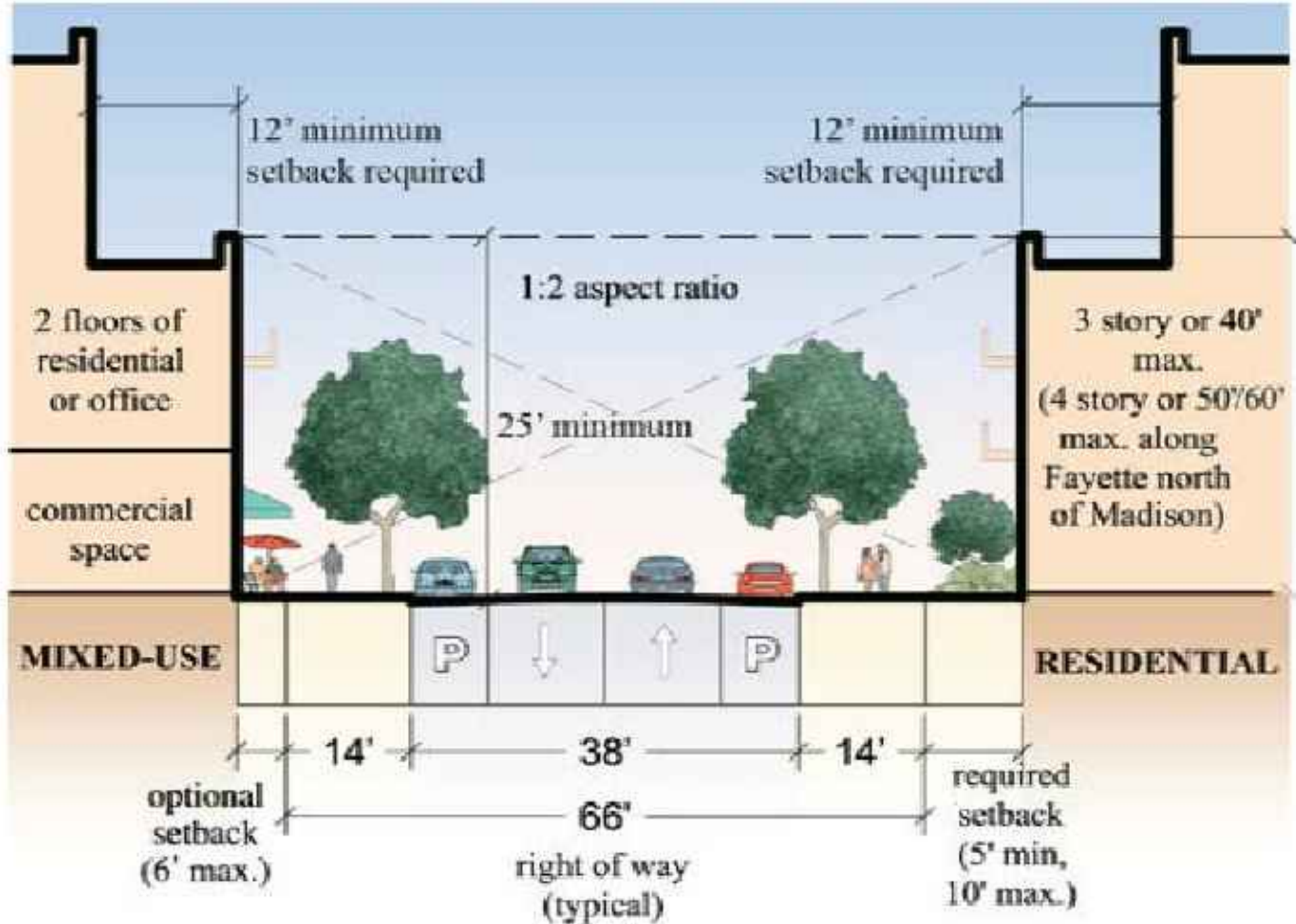
A2.4



KEY PLAN

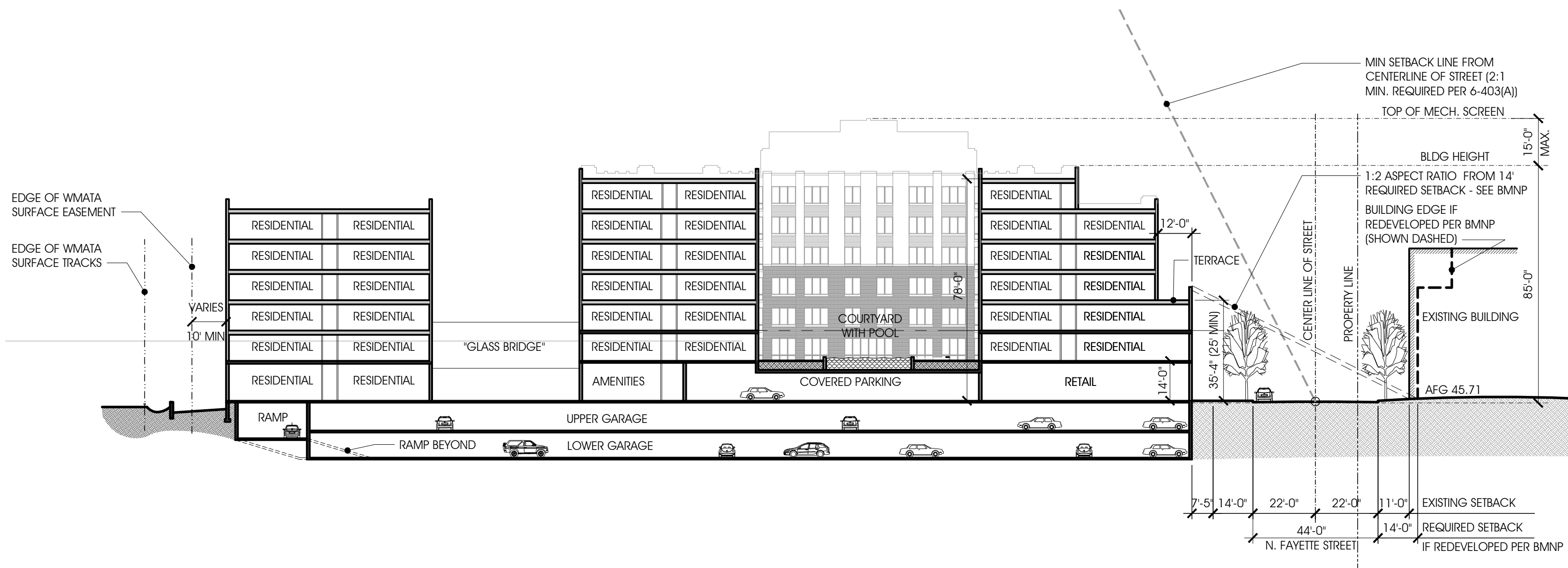
The visual axis of the Fayette "walking street" is the Washington Monument on the Mall.

Recommended setbacks and upper-floor step-backs on designated walking streets

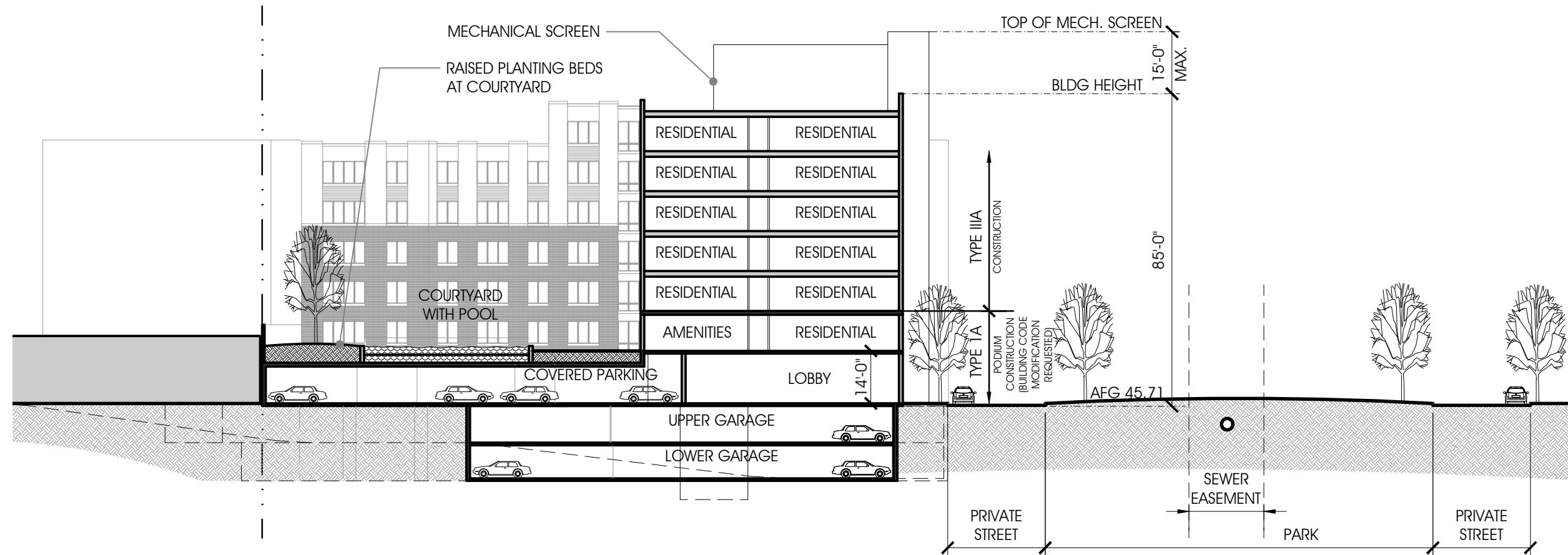


36 ■ Braddock Metro Neighborhood Plan | MARCH 2008

WALKING STREET SECTION (BRADDOCK METRO NEIGHBORHOOD PLAN)
NTS



BUILDING 2 WEST-EAST SITE SECTION
1/32" = 1'-0"



BUILDING 2 NORTH-SOUTH SITE SECTION
1/32" = 1'-0"



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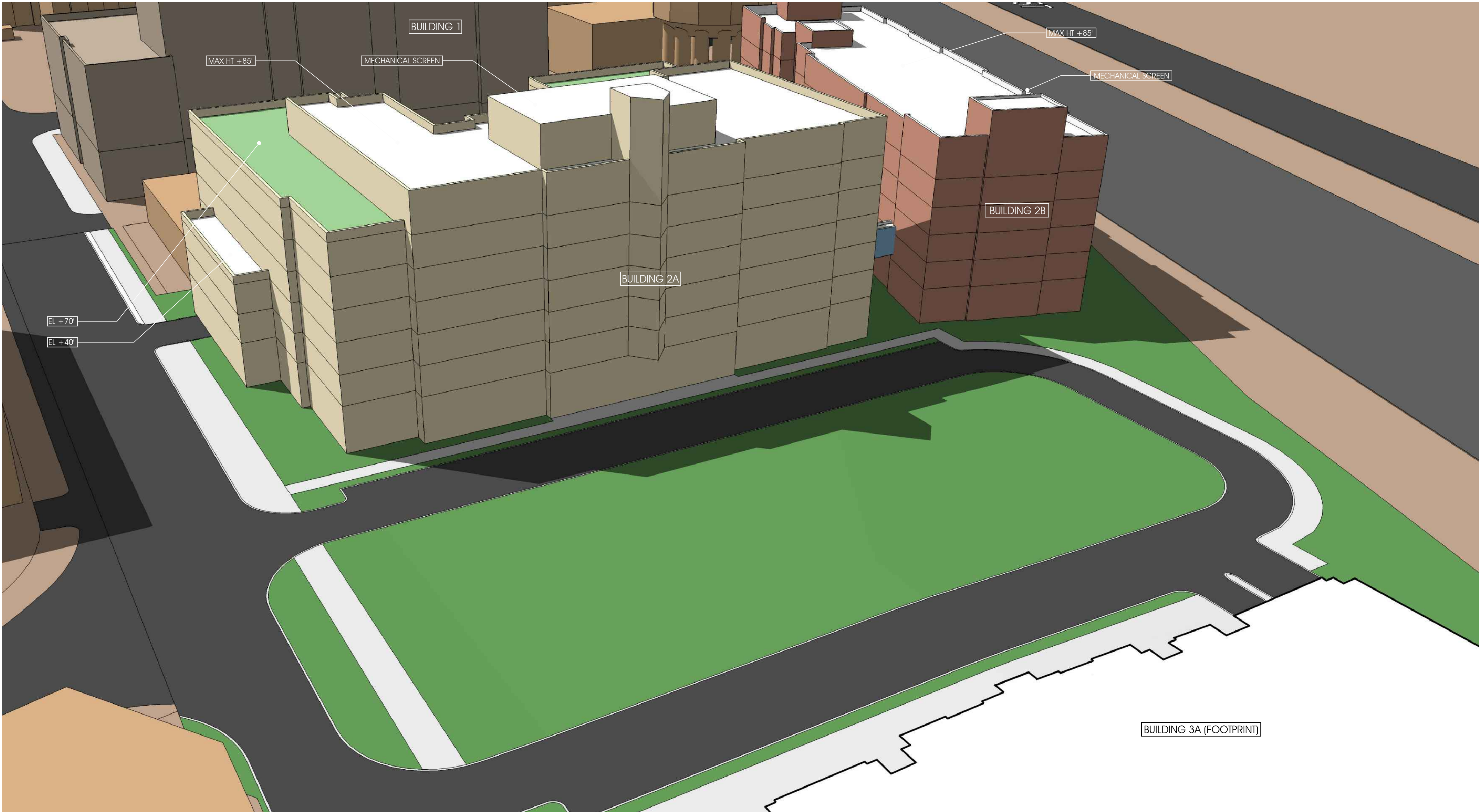
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SITE SECTIONS

SHEET NO.

A3.1

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DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
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A

MASSING MODEL
N.T.S

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MASSING
MODEL

SHEET NO.

A4.1



A

VIEW FROM INTERSECTION OF NORTH HENRY STREET AND NORTH FAYETTE STREET
N.T.S



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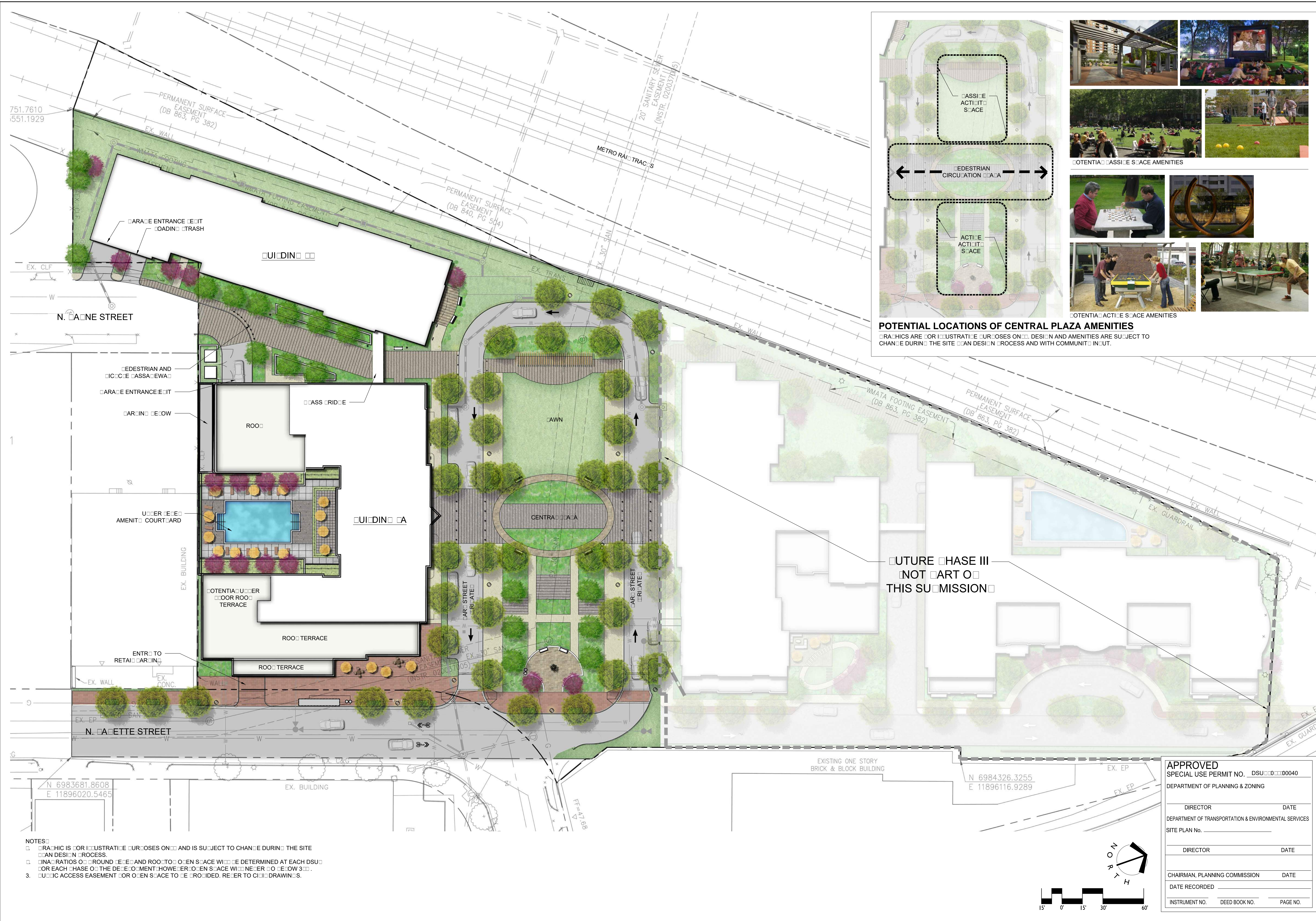
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RENDERING

SHEET NO.

A5.1

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DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	



NOTES:
1. THIS IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS SUBJECT TO CHANGE DURING THE SITE DESIGN PROCESS.
2. RATIO OF OPEN SPACE AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH SUBMITTAL FOR EACH PHASE OF THE DEVELOPMENT HOWEVER OPEN SPACE WILL NEVER BE LESS THAN 3%.
3. PUBLIC ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO CDD DRAWINGS.

POTENTIAL LOCATIONS OF CENTRAL PLAZA AMENITIES
RAICTIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. DESIGN AND AMENITIES ARE SUBJECT TO CHANGE DURING THE SITE DESIGN PROCESS AND WITH COMMUNITY INPUT.



BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN

Braddock Gateway, LLC | City of Alexandria, Virginia

ILLUSTRATIVE SITE PLAN

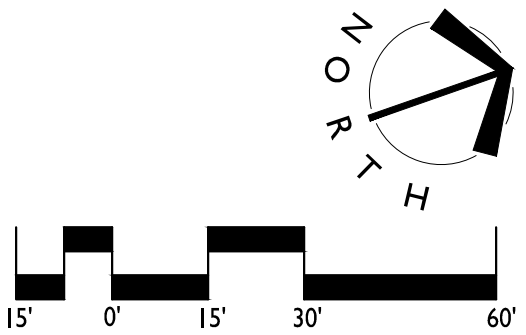
REVISIONS:
MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

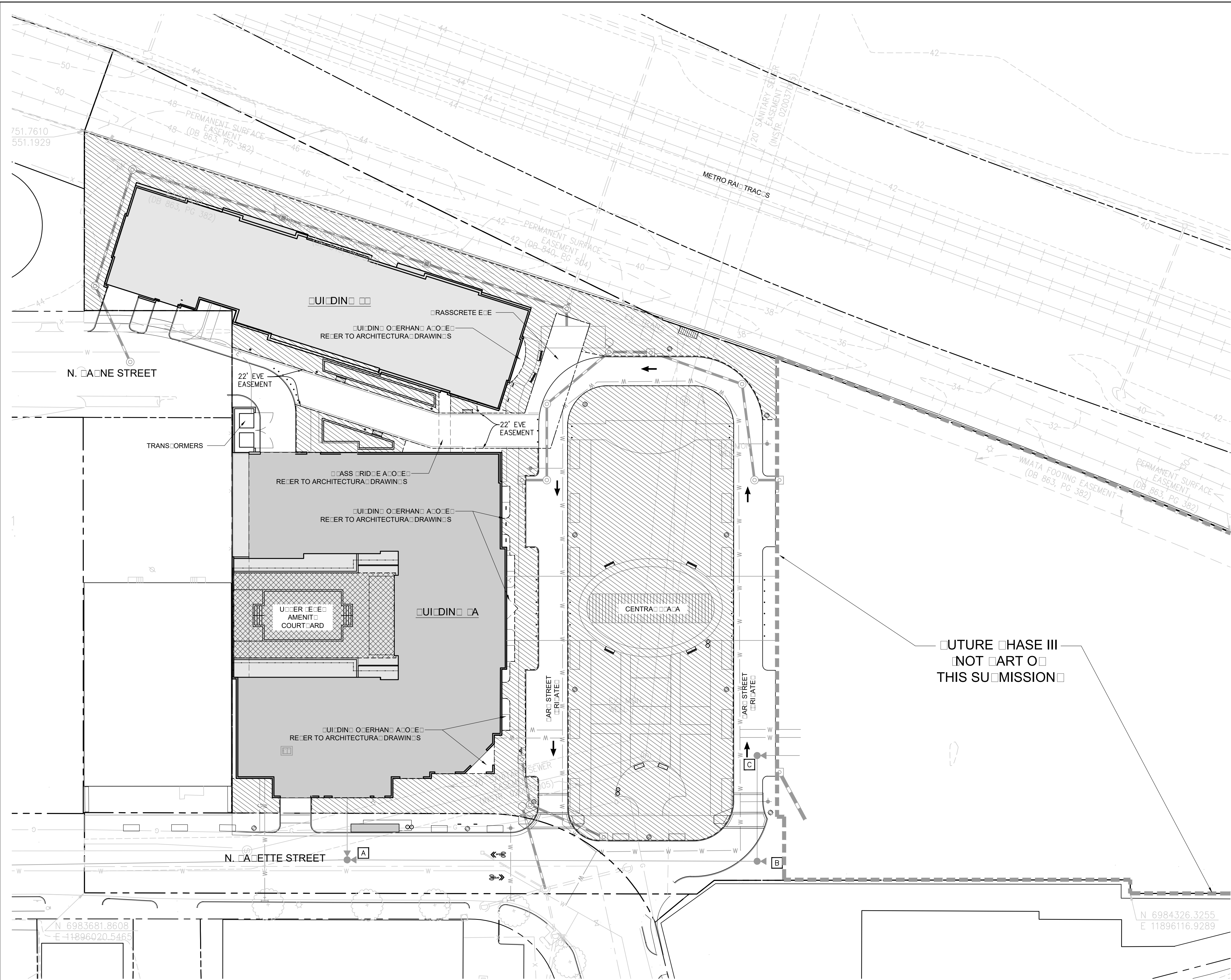
DATE: MARCH 3, 2017
DESIGNED BY: MB
DRAWN BY: SH
CHECKED BY: MB
SCALE: 1"=50'
PROJECT #: 2015030
SHEET NUMBER:
L-1.0

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COMMONWEALTH OF VIRGINIA
Matthew V. Clark
MATTHEW V. CLARK
Lic. No. 952
MARCH 7, 2017
LANDSCAPE ARCHITECT

APPROVED SPECIAL USE PERMIT NO. DSU0000040 DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	





HASE II OPEN SPACE CALCULATIONS

HASE II SITE OPEN SPACE CALCULATION

TOTAL SITE AREA (EASEMENTS EXCLUDED)	3,434 S.F. (3.00 AC.)
TOTAL REQUIRED OPEN SPACE (35%)	4,434 S.F. (0.09 AC.)
TOTAL PROVIDED OPEN SPACE	4,434 S.F. (0.09 AC.)

- NOTES:
- FINAL RATIOS OF GROUND LEVEL AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH DSUP FOR EACH PHASE OF THE DEVELOPMENT.
 - TOTAL OPEN SPACE OF ALL PHASES WILL NOT BE BELOW 35%.
 - UTILITY ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO CIVIL DRAWINGS.

HASE II OPEN SPACE LEGEND

SYMBOL	DESCRIPTION	PERCENT
[Hatched Box]	OPEN SPACE AT GRADE	0.30%
[Cross-hatched Box]	OPEN SPACE ABOVE GRADE	0.00%
[Dotted Box]		0.40%

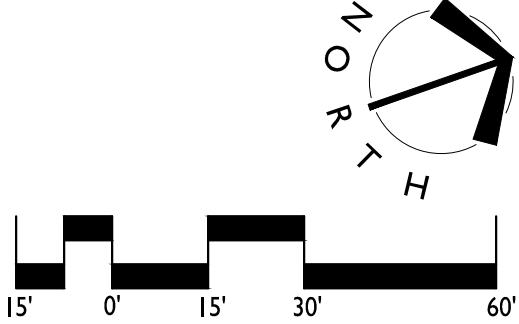
OVERALL OPEN SPACE CALCULATIONS

PER CIVIL ENGINEERING DRAWINGS, SHEET C10.00

OPEN SPACE CALCULATIONS	
COMBINED SITE AREA	291,962 S.F. or 6.70 AC.
REQUIRED OPEN SPACE	102,187 S.F. or 2.35 AC. (35%)
PROP. BUILDING FOOTPRINT	124,310 S.F. or 2.85 AC. (43%)
PROVIDED OPEN SPACE	95,717 S.F. or 2.20 AC. (33%) NOT INCLUDING EVE EASEMENT
PROVIDED ABOVE GROUND OPEN SPACE	5,170 S.F. or 0.12 AC. (2%)
TOTAL PROVIDED OPEN SPACE	100,887 S.F. or 2.32 AC. (35%)
*NOTE: FINAL RATIOS OF GROUND LEVEL AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH DSUP FOR EACH PHASE OF THE DEVELOPMENT, HOWEVER, OPEN SPACE WILL NEVER GO BELOW 35%.	

- NOTES:
- REFER TO CIVIL DRAWINGS SHEET C10.00 FOR DETAILS OF OVERALL OPEN SPACE.

FUTURE PHASE III
NOT PART OF
THIS SUBMISSION

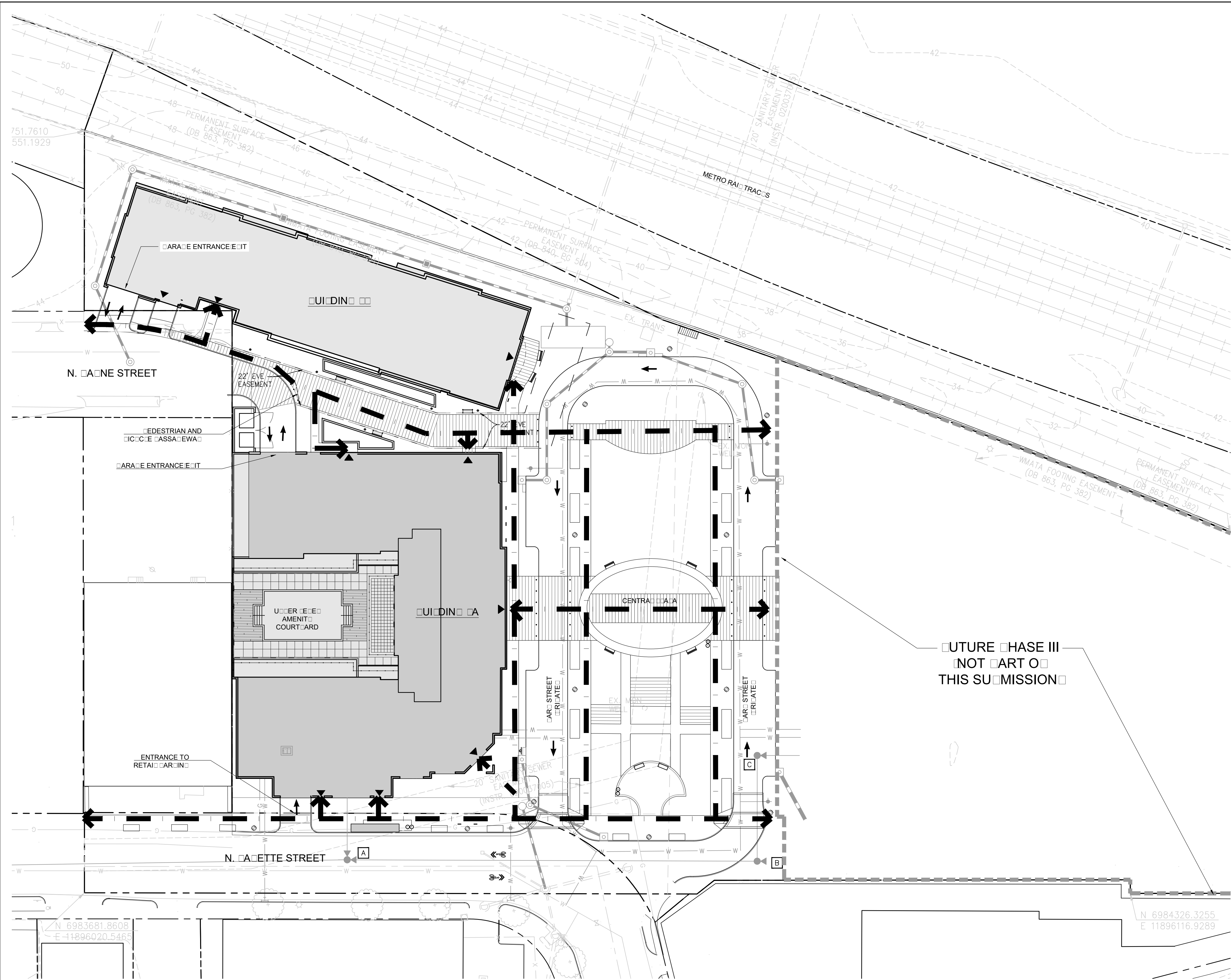


APPROVED
SPECIAL USE PERMIT NO. DSU0000040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

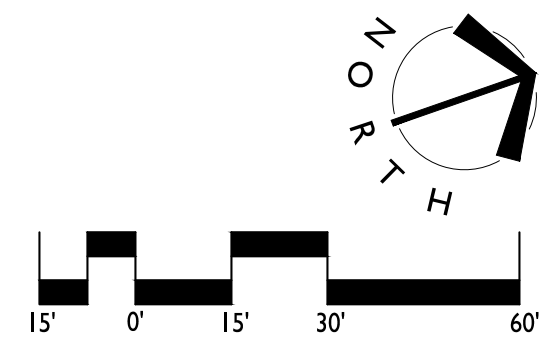
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



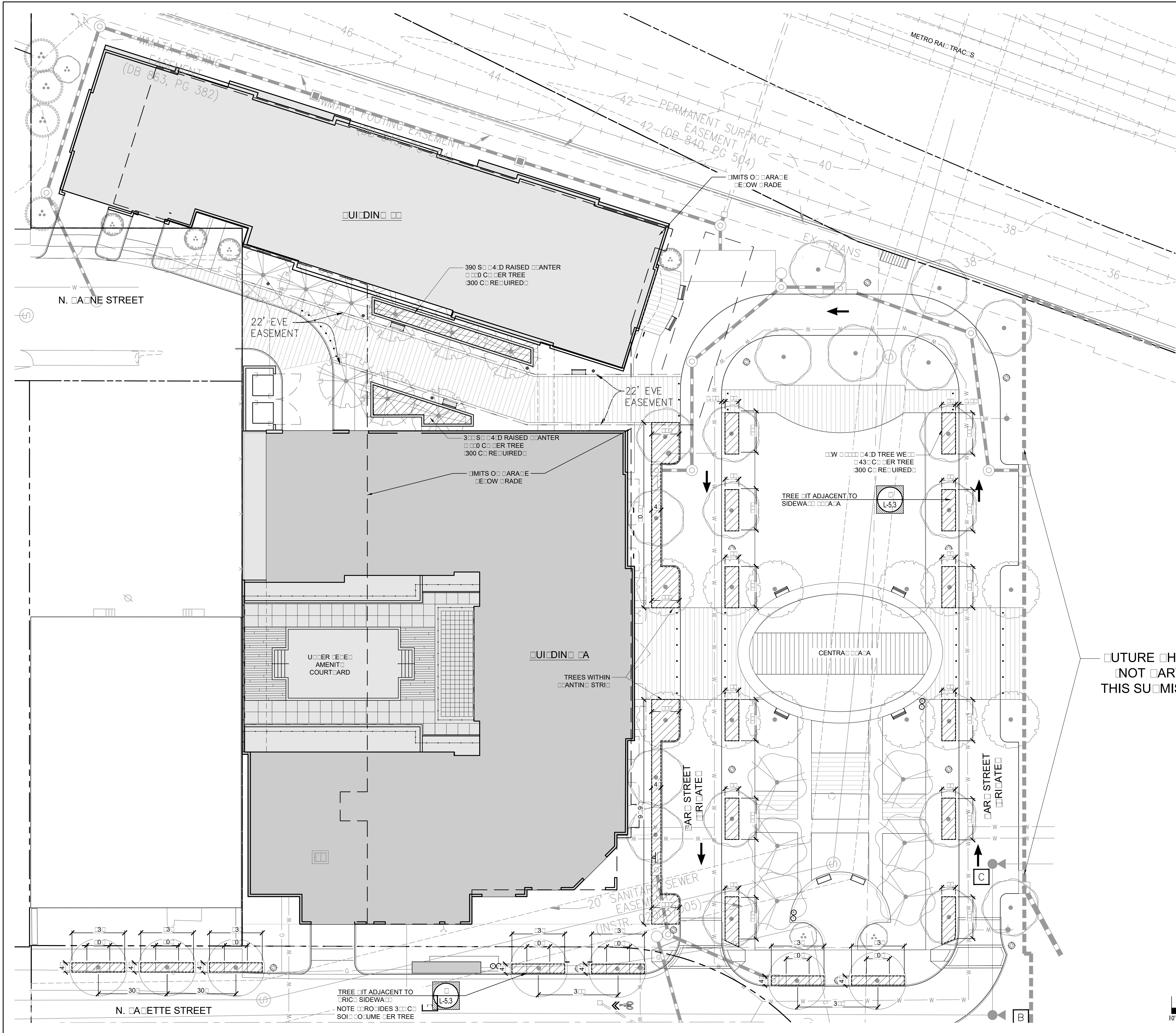
HASE II CIRCULATION **HASE III**

SYMBOL	DESCRIPTION
[Thick dashed line]	PEDESTRIAN CIRCULATION
[Thin dashed line]	VEHICULAR CIRCULATION
[Arrow]	BUILDING ENTRANCE

FUTURE HASE III
NOT PART OF
THIS SUBMISSION



APPROVED	
SPECIAL USE PERMIT NO. <u>DSU0000040</u>	
DEPARTMENT OF PLANNING & ZONING	
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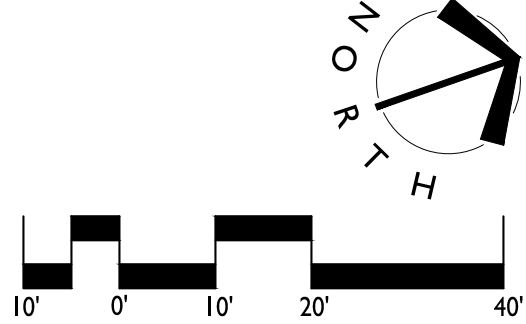
END

SYMBOL DESCRIPTION

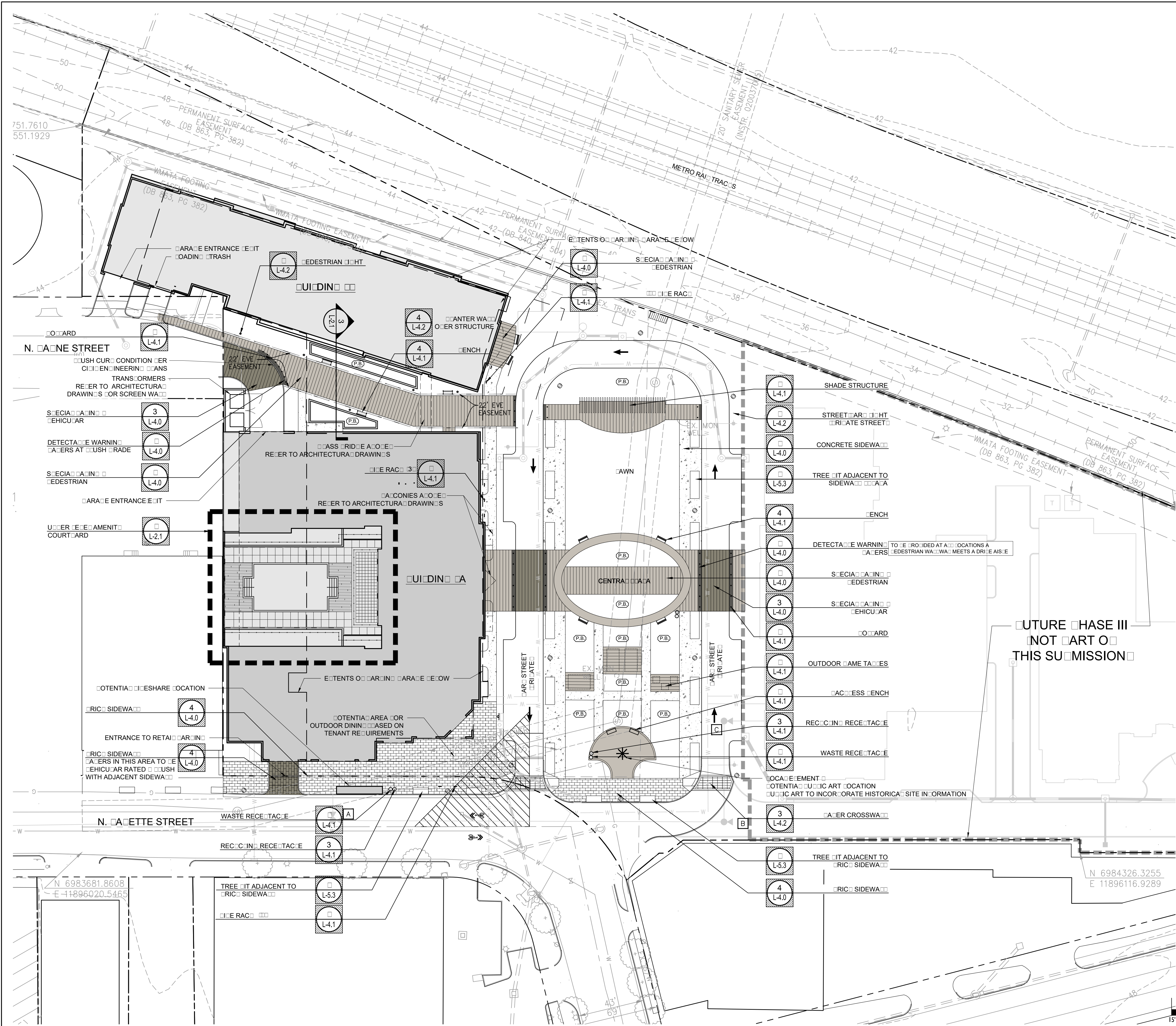
UNCOMPLETED SOIL
VOLUME IN TREE WEIGHS

NOTES:
THIS SHEET IS FOR SOIL VOLUME REFERENCE ONLY.
SEE SHEETS FOR ADDITIONAL TREE DETAIL.

FUTURE PHASE III
NOT PART OF
THIS SUBMISSION



APPROVED SPECIAL USE PERMIT NO. DSU-000040 DEPARTMENT OF PLANNING & ZONING		
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SITE PLAN No.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED	DATE	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



MATERIALS & END

S.M.O.	DESCRIPTION	DETAIL
	ASPH/FLT SIDEWALK	4-4.0
	CONCRETE SIDEWALK	4-4.0
	SPECIAL ASPH/FLT FOR PEDESTRIAN	4-4.0
	SPECIAL ASPH/FLT FOR VEHICULAR	3-4.0
	DETECTABLE WARNING CURB CUTS	4-4.0
	ACCESS CROSSWALK	3-4.0

S.M.O.	DESCRIPTION	DETAIL
	ACCESS EASEMENT	4-4.0
	ACCESS EASEMENT	4-4.0
	BOARD	4-4.0
	TREE PLANT	4-4.0
	WASTE RECYCLING	4-4.0
	RECYCLED RECYCLE	3-4.0
	STREET LIGHT	4-4.0
	PEDESTRIAN LIGHT	4-4.0
	ANTIN FLOOD	4-4.0

- NOTES:
- PLAN AS SHOWN IS PRELIMINARY AND IS INTENDED TO CONVEY DESIGN INTENT. FINAL DESIGN MAY BE MODIFIED BASED ON FIELD CONDITIONS, STAFF COMMENTS, AND PUBLIC INPUT FROM COMMUNITY STAKEHOLDERS.
 - FINAL DESIGN FOR RESIDENTIAL COURTYARDS IS SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURE, ENGINEERING, AND TENANT REQUIREMENTS.
 - PUBLIC ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO CITY DRAWINGS.
 - PLACEMENT HATCHES ARE SHOWN TO CONVEY EXTENTS OF PLACEMENT. DETAIL MAP NOT BE INDICATIVE OF LATER SCALE.

APPROVED
SPECIAL USE PERMIT NO. DSU00000040

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN

Braddock Gateway, LLC | City of Alexandria, Virginia

MATERIALS & PLAN

REVISIONS:
MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

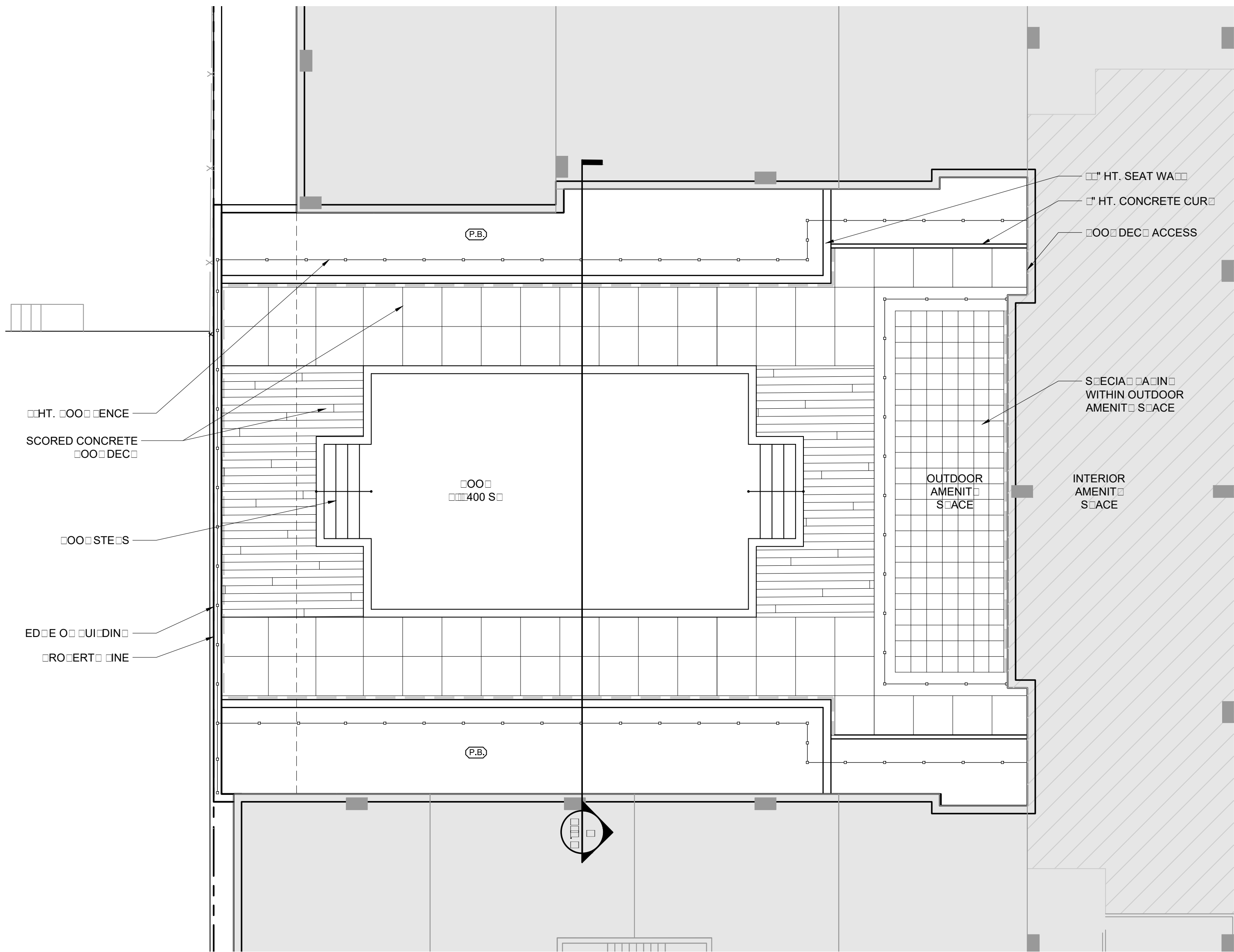
DATE: MARCH 3, 2017
DESIGNED BY: MB
DRAWN BY: SH
CHECKED BY: MB
SCALE: 1"=50'
PROJECT #: 2015030

SHEET NUMBER:
L-2.0

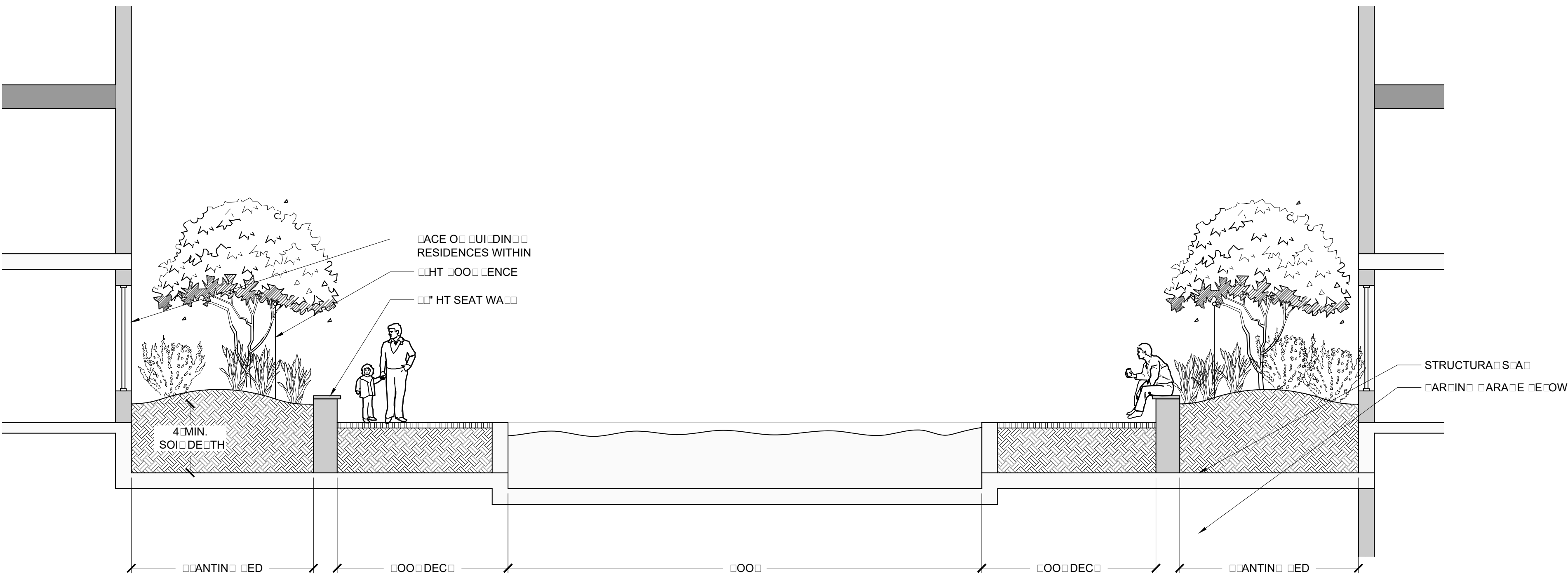


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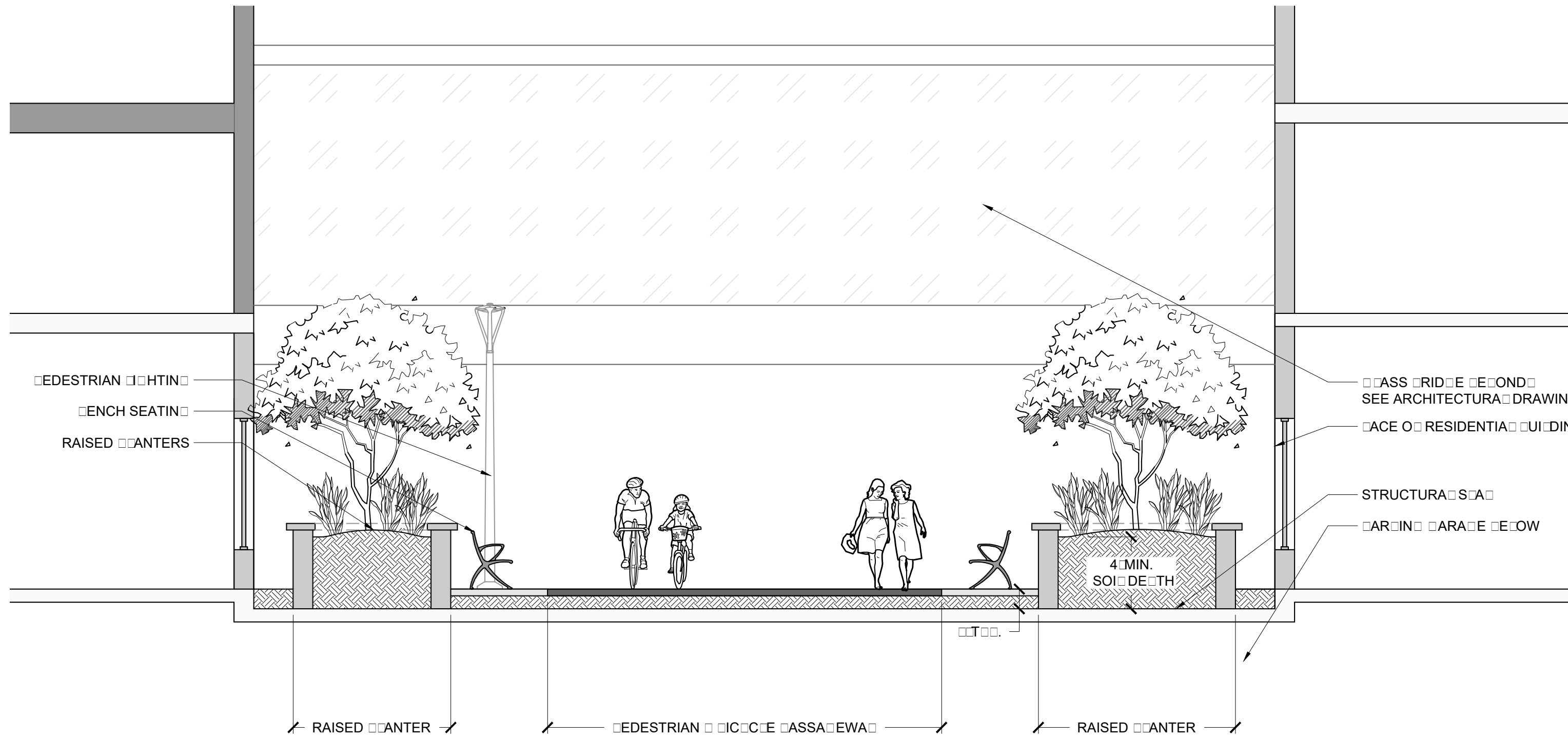
300 S. Peyton St., Alexandria, VA 22314
V: 703.540.7784 F: 703.540.4984
www.LandDesign.com



1 UPPER LEVEL AMENITIES COURT
L-2.1 PLAN 1"=10'-0"



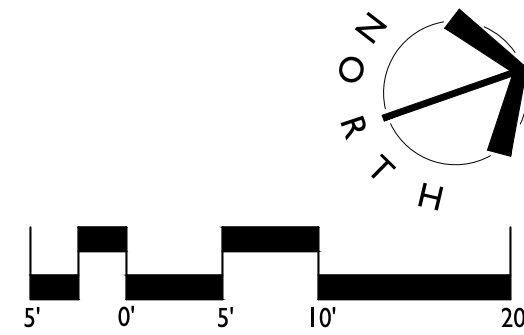
2 UPPER LEVEL AMENITIES COURT
L-2.1 SECTION 1"=10'-0"



3 PEDESTRIAN BICYCLE ACCESSWAY
L-2.1 SECTION 1"=10'-0"

NOTES:
1. PLAN AS SHOWN IS PRELIMINARY AND IS INTENDED TO CONVEY DESIGN INTENT. FINAL DESIGN MAY BE MODIFIED BASED ON FIELD CONDITIONS, STAFF COMMENTS, AND PUBLIC INPUT FROM COMMUNITY STAKEHOLDERS.
2. FINAL DESIGN FOR RESIDENTIAL COURTYARDS IS SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURE/ENGINEERING AND TENANT REQUIREMENTS.

APPROVED SPECIAL USE PERMIT NO. DSU00000040 DEPARTMENT OF PLANNING & ZONING		
DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED	DATE	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



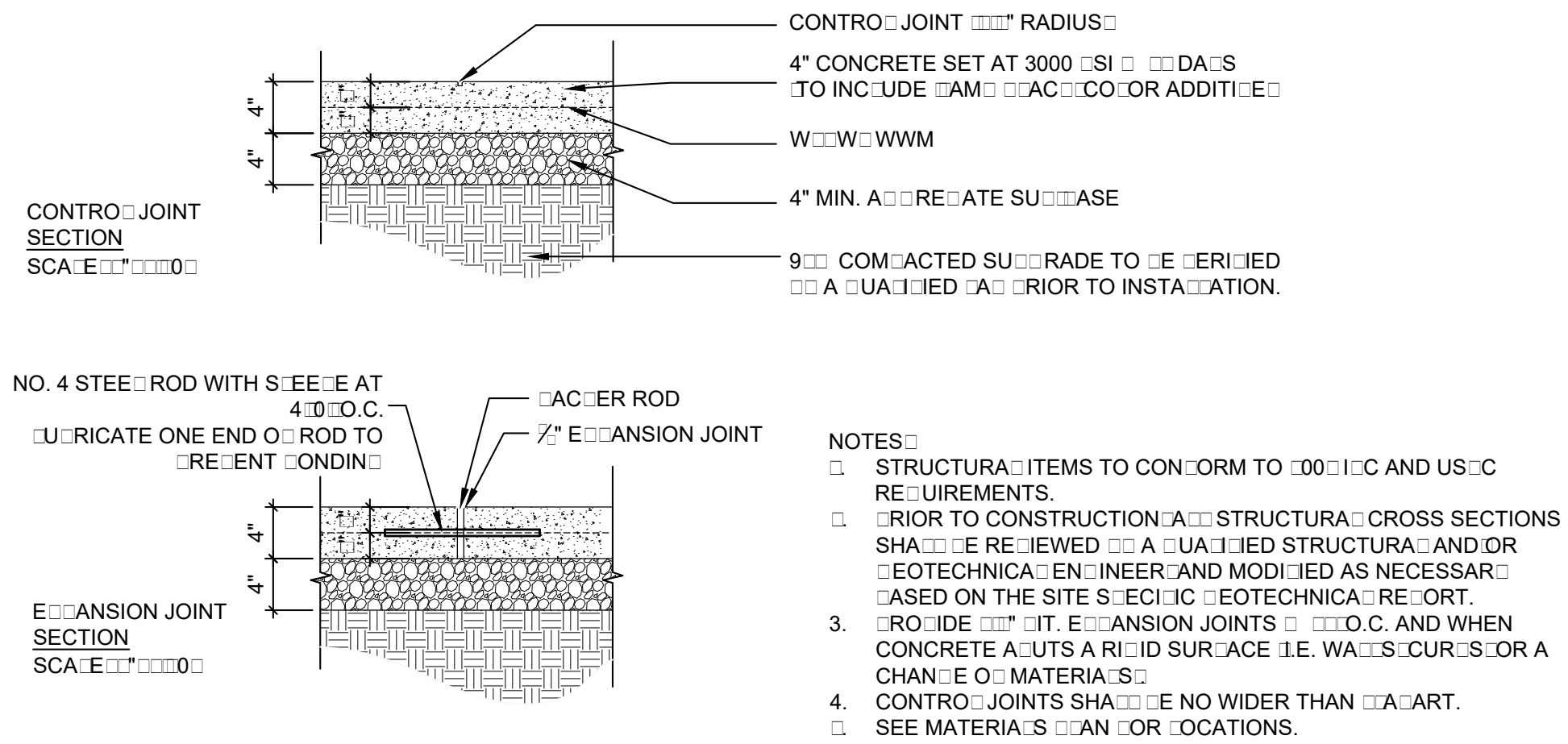
BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN
Braddock Gateway, LLC | City of Alexandria, Virginia
MATERIALS PLAN ELEMENTS

REVISIONS:
MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

DATE: MARCH 3, 2017
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CHECKED BY: MB
SCALE: AS SHOWN
PROJECT #: 2015030
SHEET NUMBER:
L-2.1

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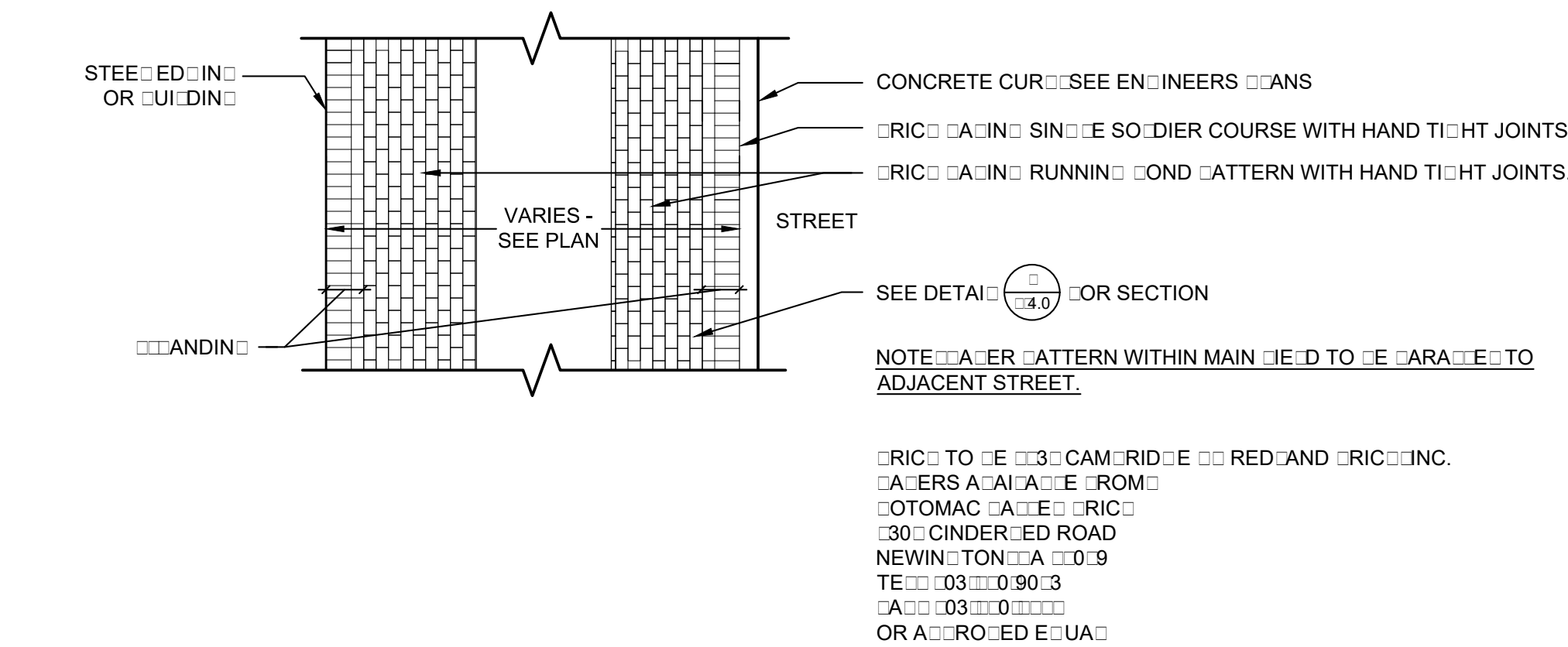




1 CONCRETE SIDEWALK

L-4.0 SCHEMATIC PLAN SECTION

NTS



4 BRICK SIDEWALK

L-4.0 PLAN

NTS



ADA COMPLAINT DETECTABLE WARNING PAVERS
COLOR TYPED

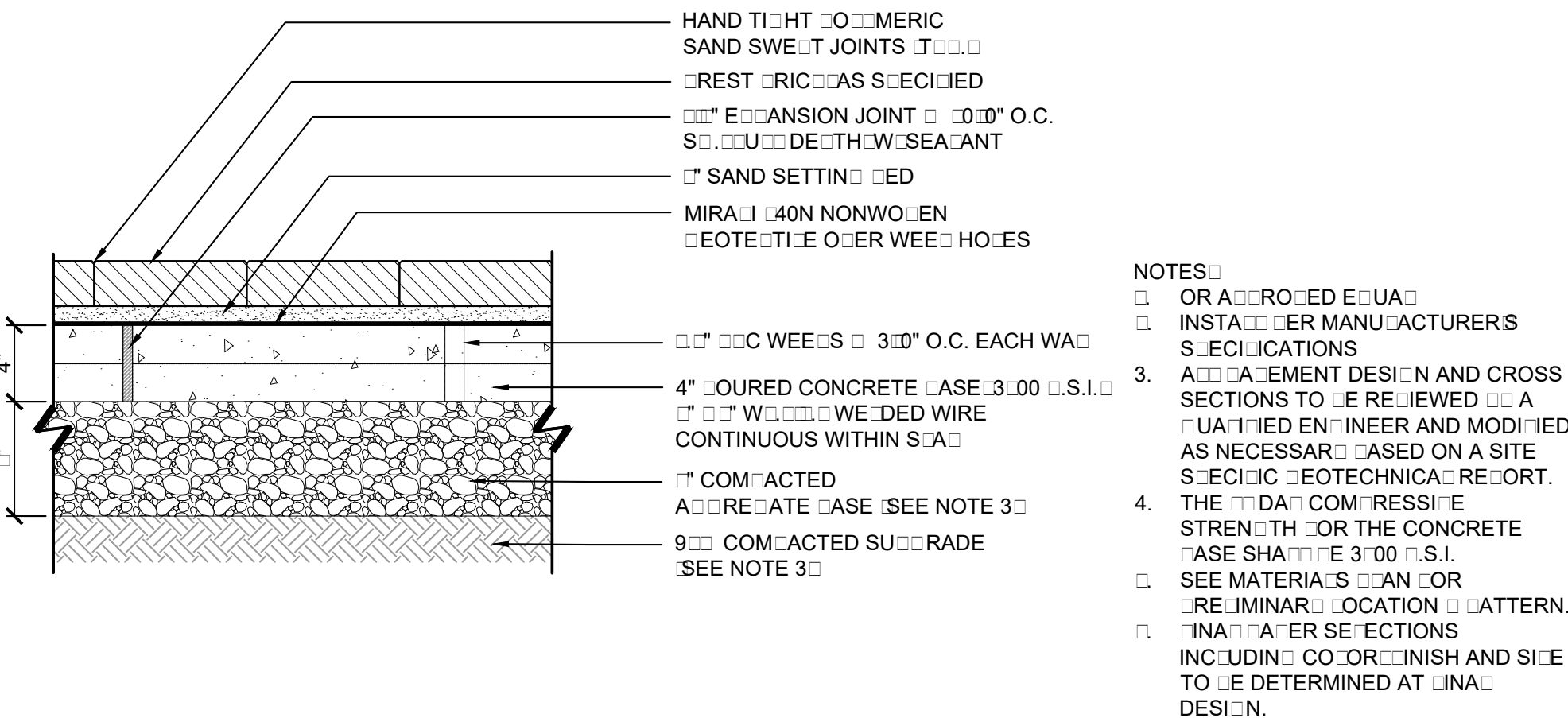
MANUFACTURER:
CASTONE
3303 HOWE ROAD
HARTSTOWN, MA 01924
TEL: 401-403-0300
FAX: 401-403-0304

- NOTES:
1. FOR OWNER APPROVED EQUAL
2. PAVERS TO BE USED AT ALL CURBS, REFER TO MATERIALS MAN FOR LOCATIONS.
3. PAVES COLOR TO BE VISUALLY CONTRASTING WITH SURROUNDING PAVEMENT MATERIALS.
4. FINA PAVES SELECTIONS INCLUDING COLOR, FINISH, AND SIZE TO BE DETERMINED AT FINA DESIGN.

7 DETECTABLE WARNING PAVERS

L-4.0 VICTORIA

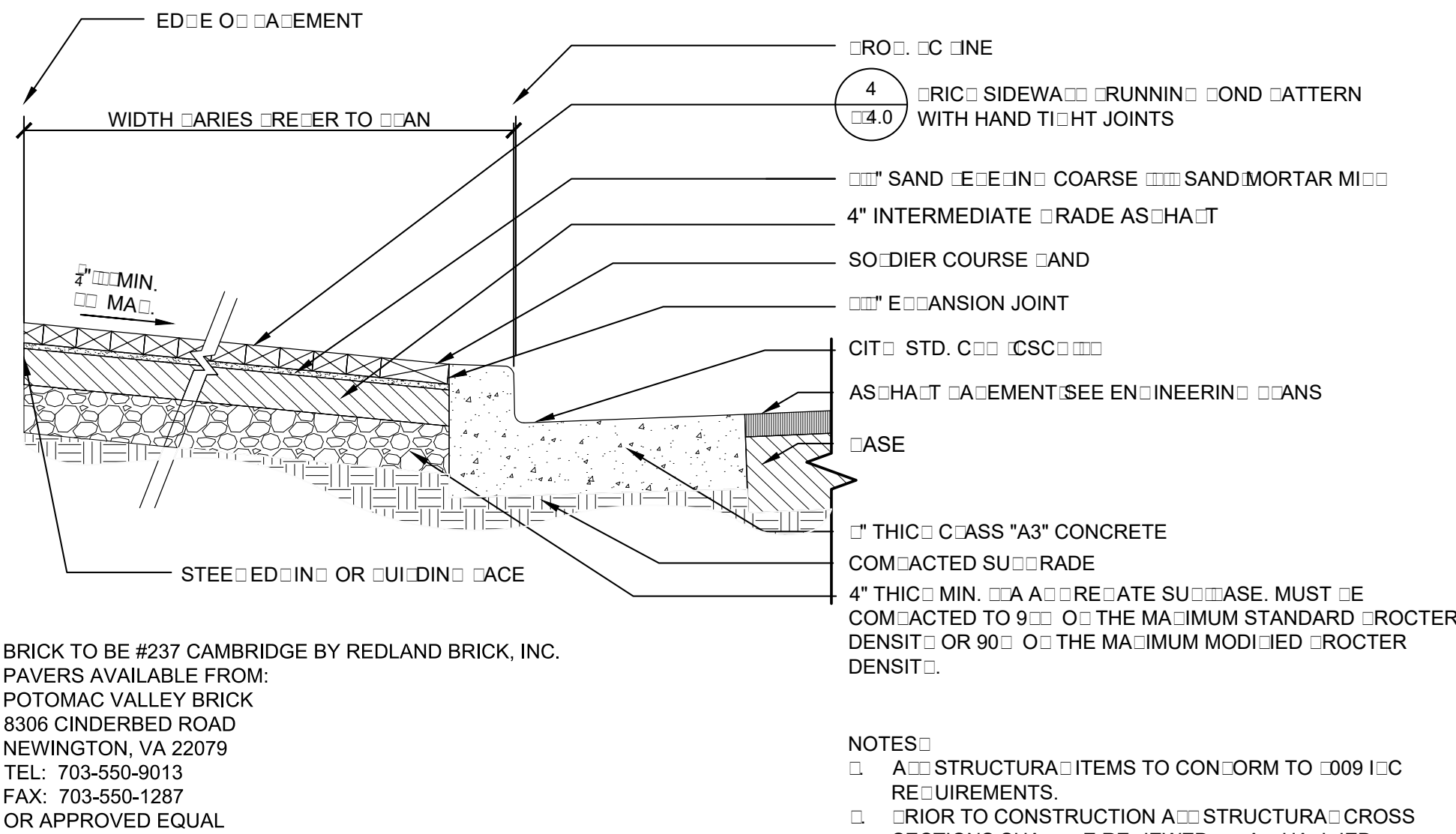
NTS



2 SPECIA PAVING GEOSTRIP

L-4.0 SECTION VICTORIA

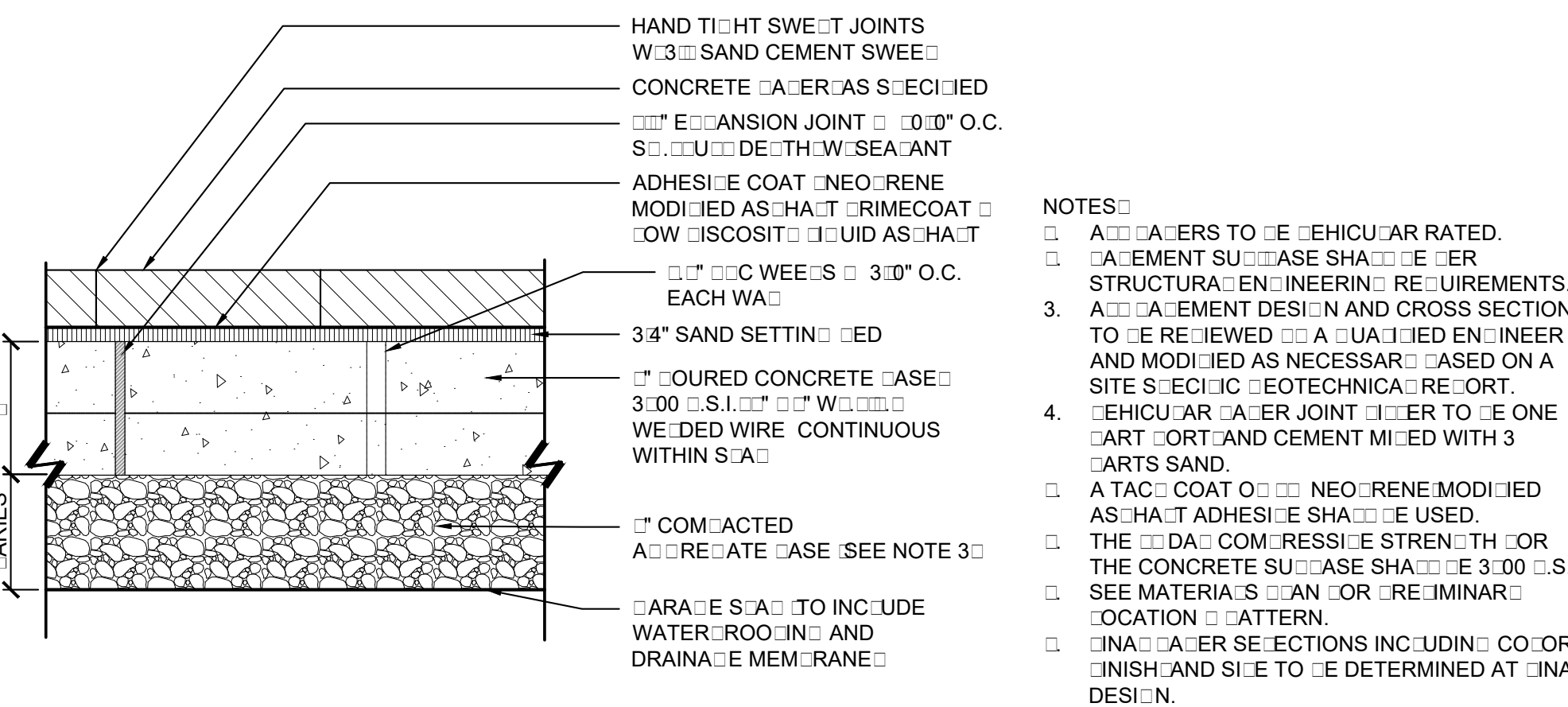
3'-0" @ 4'-0"



5 BRICK SIDEWALK

L-4.0 SECTION

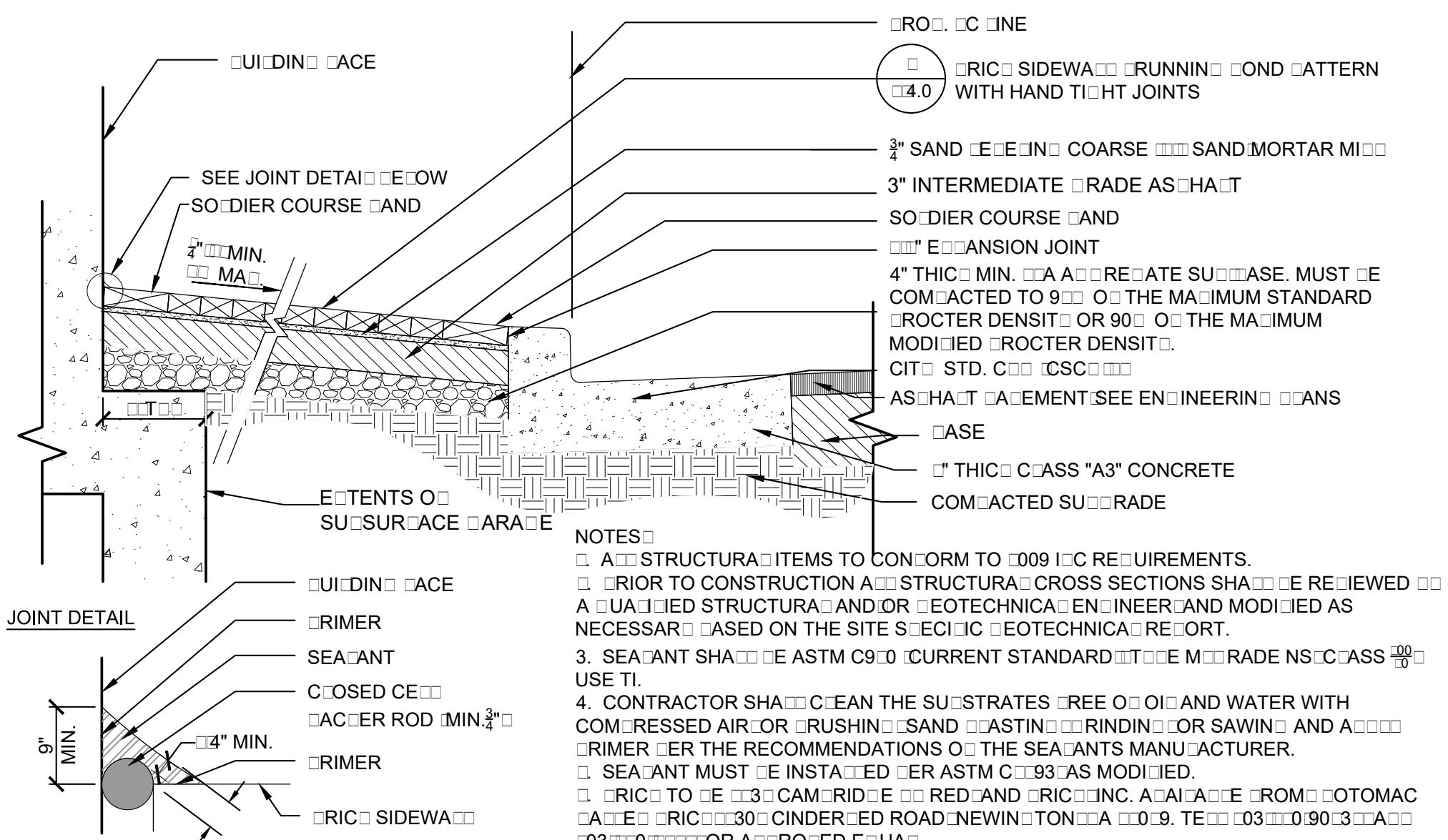
3'-0" @ 4'-0"



3 SPECIA PAVING GEOSTRIP

L-4.0 SECTION

3'-0" @ 4'-0"



6 BRICK SIDEWALK SUBSURFACE PAVING

L-4.0 PLAN

NTS

APPROVED SPECIAL USE PERMIT NO. DSU00000040	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

BRADDOCK GATEWAY - PHASE II DEVELOPMENT PRELIMINARY SITE PLAN

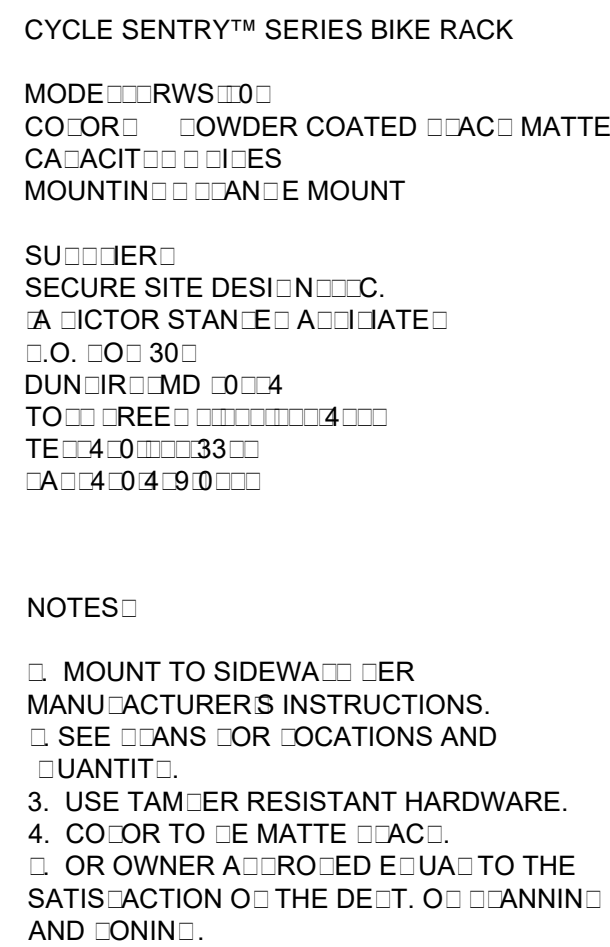
Braddock Gateway, LLC | City of Alexandria, Virginia

HARDSCAPE DETAILS

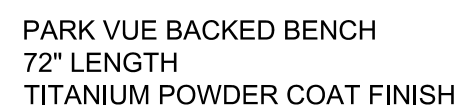
REVISIONS:
MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

DATE: MARCH 3, 2017
DESIGNED BY: MB
DRAWN BY: SH
CHECKED BY: MB
SCALE: AS SHOWN
PROJECT #: 2015030

SHEET NUMBER:
L-4.0



NTS



MANUFACTURER:
LANDSCAPEFORMS
431 LAWNDAL AVE
KALAMAZOO, MI 49048
TEL: 800.521.2546
FAX: 269.381.3455

NOTES:

1. OR OWNER APPROVED EQUAL.
2. SEE PLAN FOR LOCATIONS AND QUANTITY.
3. SURFACE MOUNT WITH ANCHOR TAPS PER MANUFACTURERS SPECIFICATIONS.

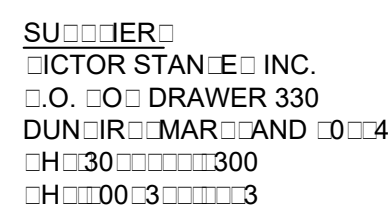
NTS



NOTES

1. INSTALLED TREES WOULD BE SIMILAR TO THE PHOTO EXAMPLE IN TERMS OF SPECIES AND MATERIALS. DESIGN SUBJECT TO CHANGE.
2. MATERIALS TO BE WOOD AND METAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
4. OR APPROVED EQUIVALENT.

NTS

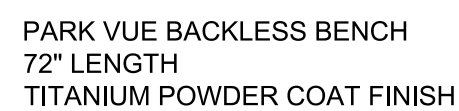


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- [] RECE TAC E TO E MOUNTED IN ROUND ER
- MANUFACTURES INSTRUCTIONS.
- 3. SEE CAN OR Q UANTIT Y LOCATIONS.
- 4. CUT C A C ERS TO IT AROUND MOUNTING E E
- WHEN A C I C A E .
- [] USE TAMER RESISTANT HARDWARE.
- [] RECE TAC E SHA INC LUD E DOMED ID.
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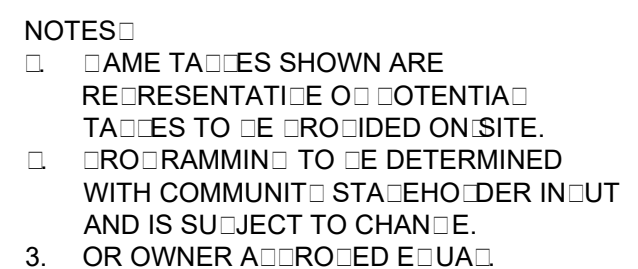


MANUFACTURER:
LANDSCAPEFORMS
431 LAWNDAL AVE
KALAMAZOO, MI 49048
TEL: 800.521.2546
FAX: 269.381.3455

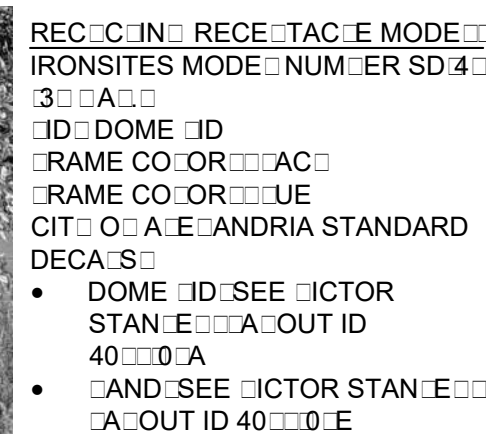
NOTES:

1. OR OWNER APPROVED EQUAL.
2. SEE PLAN FOR LOCATIONS AND QUANTITY.
3. SURFACE MOUNT WITH ANCHOR TAPS PER MANUFACTURERS SPECIFICATIONS.

NTS



NTS

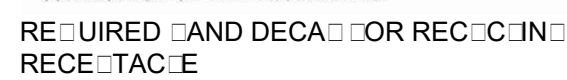


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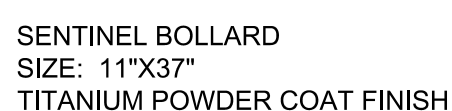
NOTES:

- ☐ RECEPTACLE TO BE MOUNTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ☐ SEE PLAN FOR QUANTITY AND LOCATIONS.
- ☐ USE TAMPER RESISTANT HARDWARE.
- 4. RECEPTACLES TO INCLUDE CITICORP AND ANDRIA STANDARD DECADES AS NOTED.

NTS



NTS



MANUFACTURER:
LANDSCAPEFORMS
431 LAWDALE AVENUE
KALAMAZOO, MI 49048
TEL: 800.521.2546
FAX: 269.381.3455

NOTES:

1. OR OWNER APPROVED EQUAL.
2. SEE PLAN FOR LOCATIONS AND QUANTITY.
3. CAST ALUMINUM SLEEVE MOUNTS OVER SUPPLIED 6" STRUCTURAL STEEL PIPE AND SECURES WITH CONCEALED HARDWARE.

<h1 style="margin: 0;">APPROVED</h1>		
SPECIAL USE PERMIT NO. <u>DSU000000040</u>		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
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CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		
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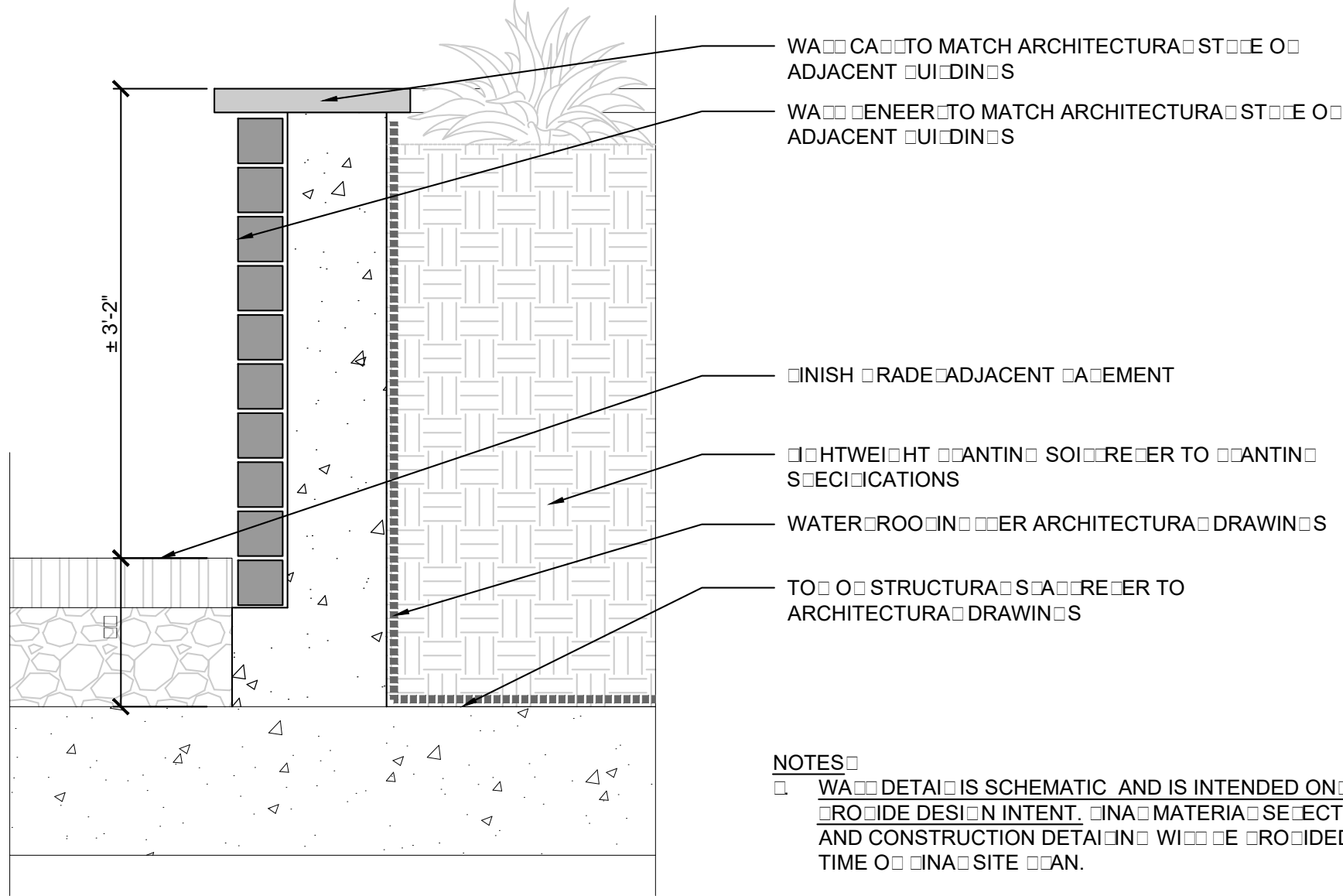


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NOTES
OR OWNER APPROVED E U A
INSTA FROM FACE OF CUR
3. LOCATIONS AND QUANTITIES SHOWN ON PLAN ARE
SUBJECT TO CHANGE BASED ON PHOTOMETRICS.



1 STREET LAMP LIGHT MOUNTED STREET

L-4.2 DETAIL

NTS

4 CANTER WALL OVER STRUCTURE

L-4.2 SECTION

1/4" = 1'-0"



PEDESTRIAN LIGHT
HEIGHT 4
COLOR TITANIUM POWDER COAT FINISH

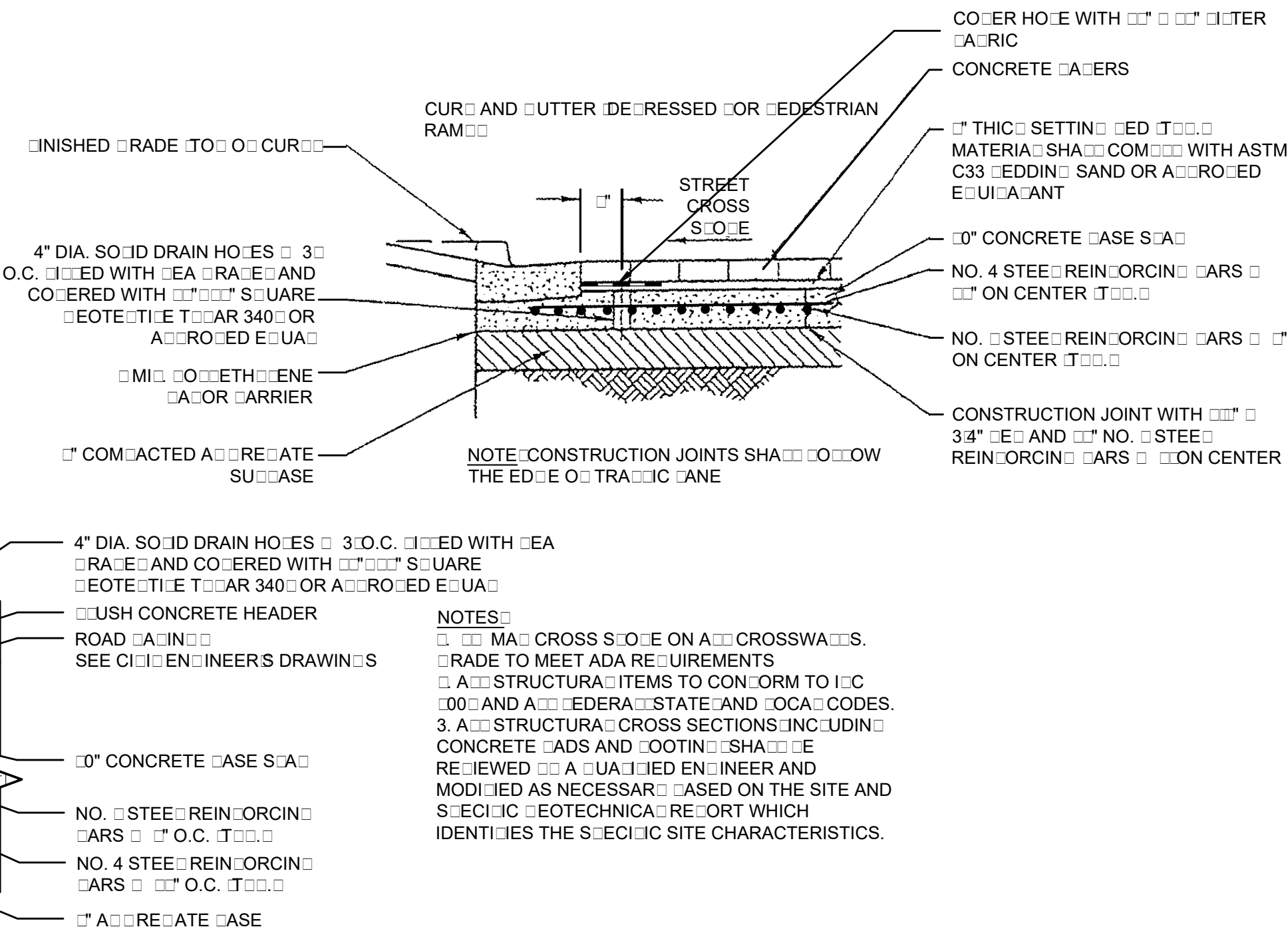
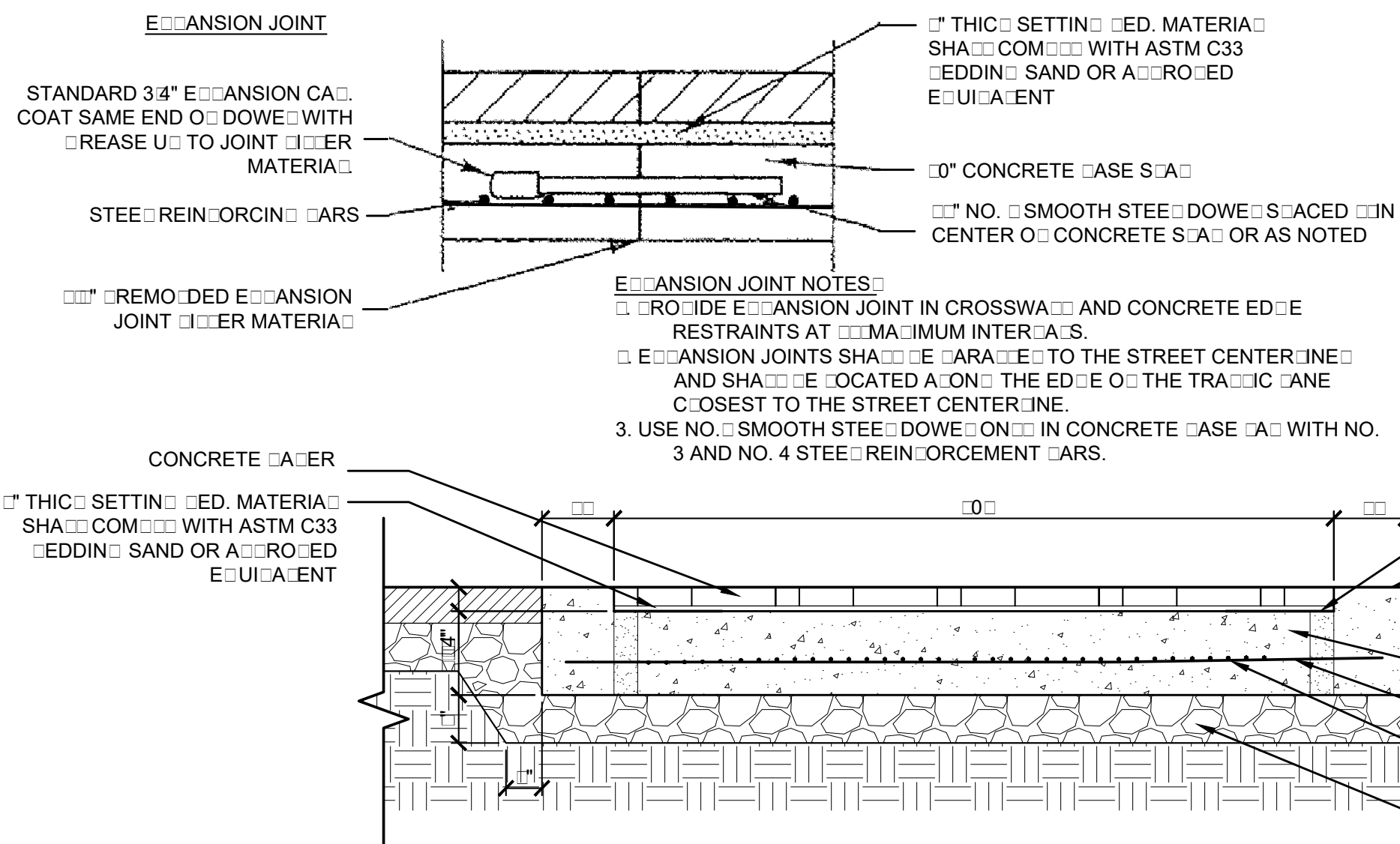
MANUFACTURER
LANDSCAPE FORMS
43 WINDATE AVENUE
ALAMADO MI 4904
TEL 000.000.004

NOTES
IMAGES SHOWN ARE TYPICAL FINAL LIGHT SELECTION
WHICH ARE SIMILAR IN TERMS OF STYLE IN MATERIALS
CONSTRUCTION SUBJECT TO CHANGE WITH FINAL ENGINEERING
AND PHOTOMETRICS.
SEE PLAN FOR LOCATIONS AND QUANTITIES. LOCATIONS
AND QUANTITIES SUBJECT TO CHANGE BASED ON
PHOTOMETRICS.

2 PEDESTRIAN LIGHT

L-4.2 DETAIL

NTS



3 CANTER CROSSWALK

L-4.2 PLAN SECTION

NTS

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BRADDOCK GATEWAY - PHASE II DEVELOPMENT PRELIMINARY SITE PLAN

Braddock Gateway, LLC | City of Alexandria, Virginia

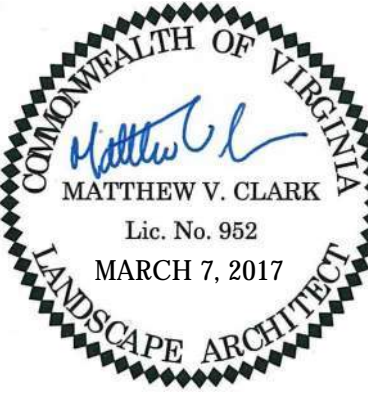
HARDSCAPE DETAILS

REVISIONS:
MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

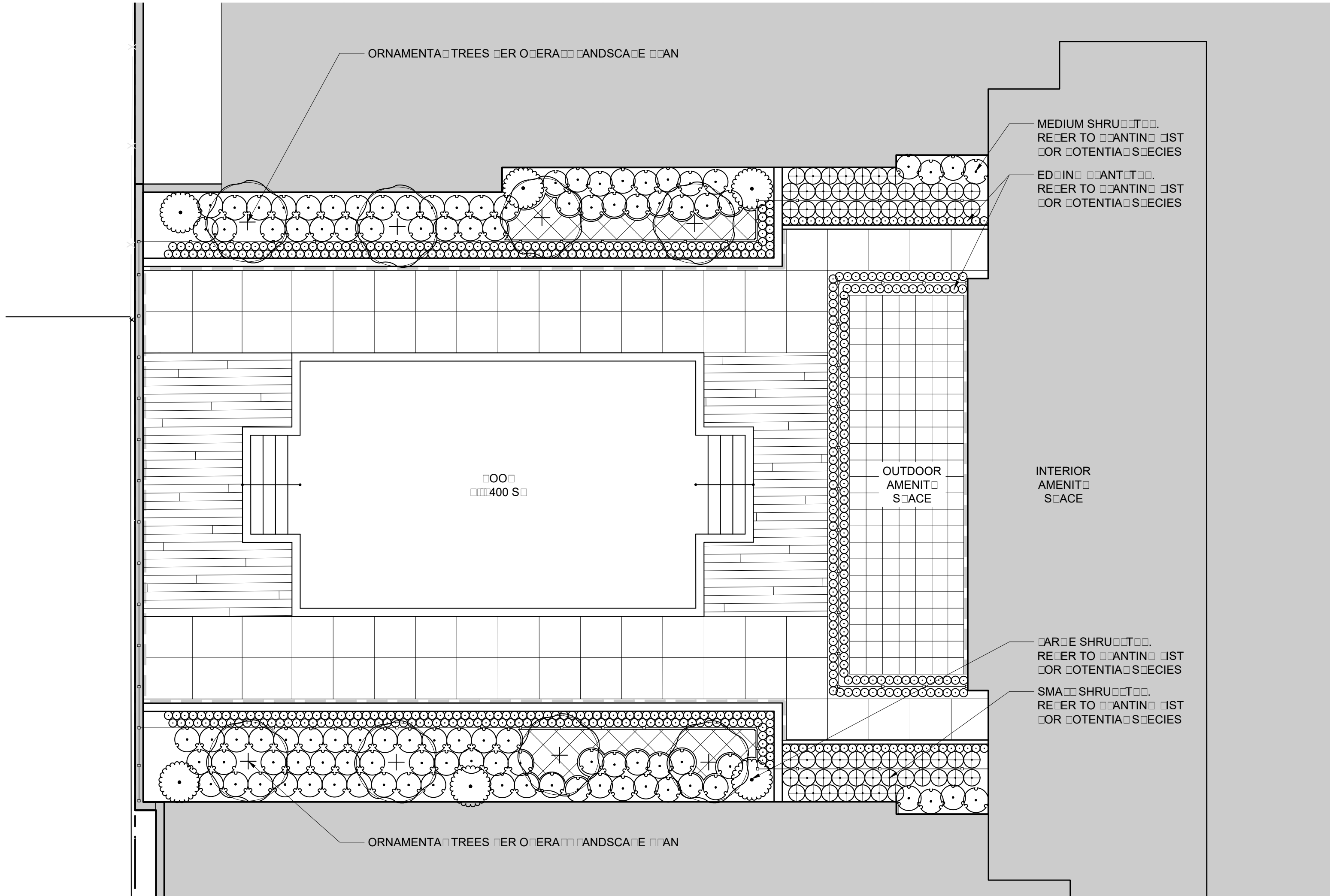
DATE: MARCH 3, 2017
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SCALE: AS SHOWN
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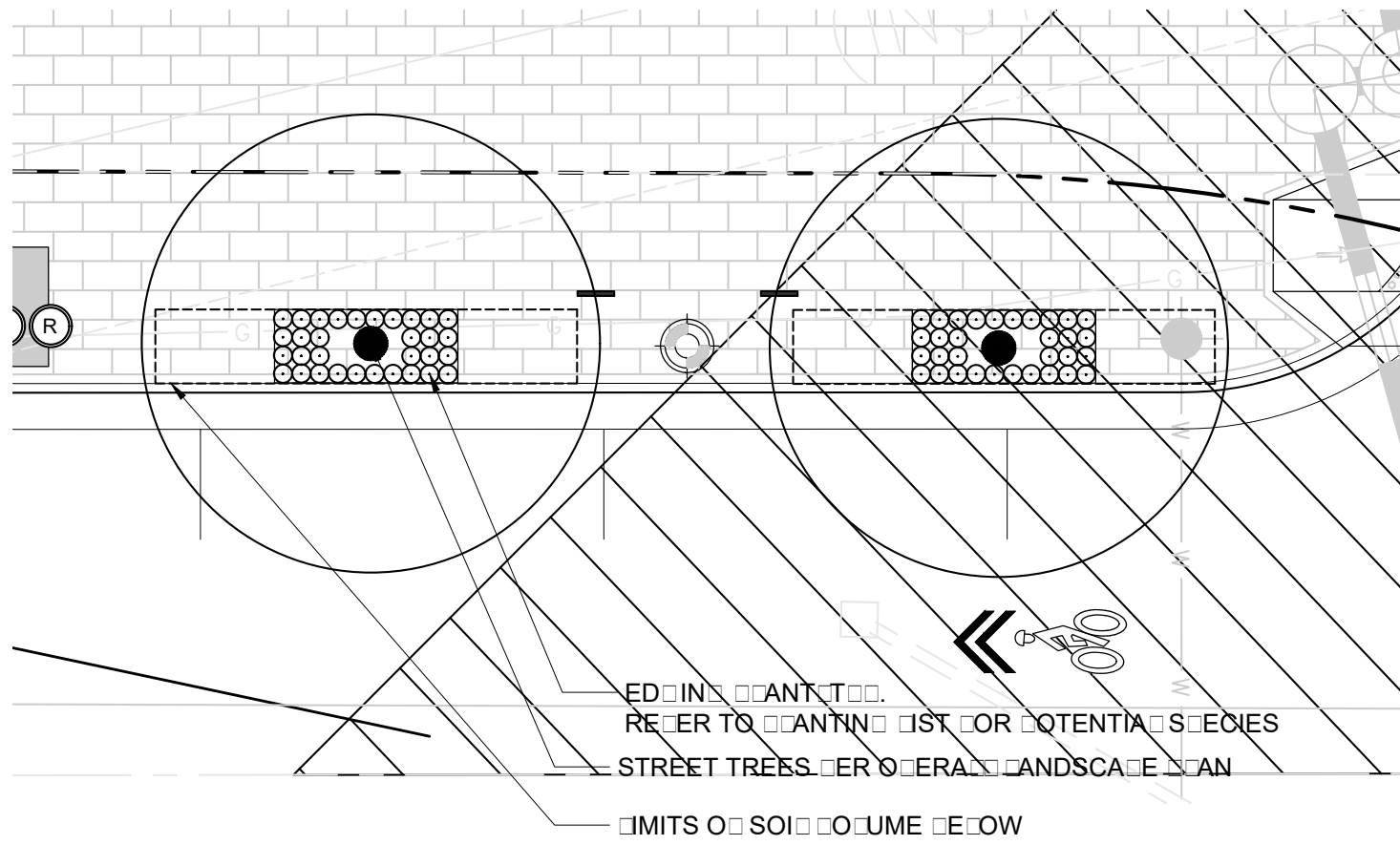
L-4.2



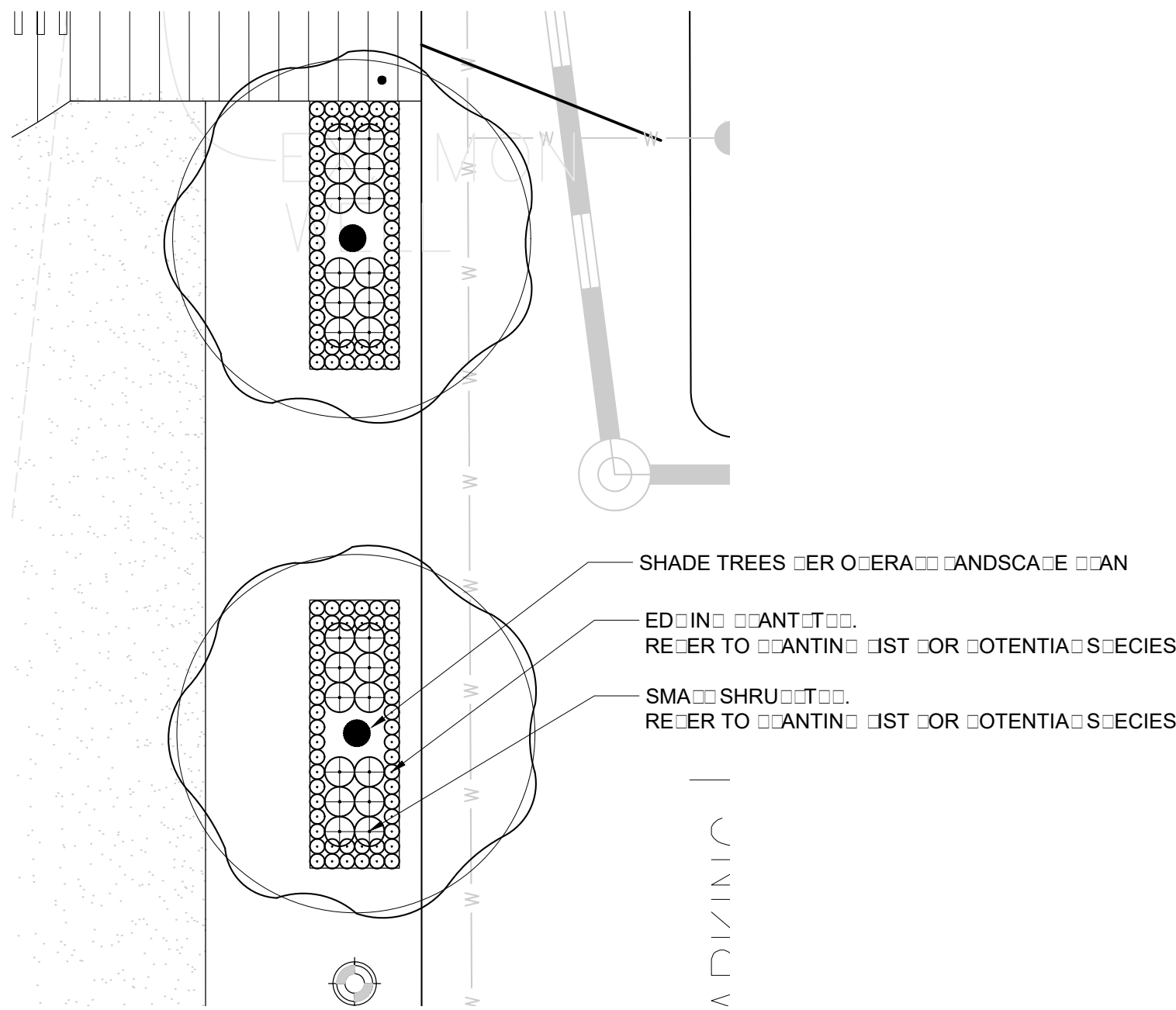
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1 AMENITY COURT LARD LANDSCAPE ENHANCEMENT



2 TRUCK STREETSCAPE PLANTING PLAN



3 TRUCK AREA TREE PLANTING PLAN

PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	MA	4	MAHONIA RANDOLPHIA	SOUTHERN MAHONIA			10'	MEDIUM EVERGREEN TREE
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	AMEA	3	AMELANCHIER RANDOLPHIA	AUTUMN RIBBANCE			10'	MEDIUM ORNAMENTAL TREE
	COR	4	CORNUS DOUGLASSIA	DOUGLASS DOGWOOD			10'	SMALL ORNAMENTAL TREE
	INA		INACERSTROEMIA INDICA	NATCHE			10'	SMALL ORNAMENTAL TREE
SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	ARO		ACER RUBRUM	DOUGLASS DOGWOOD			10'	SHADE TREE
	ENI		ENETUFA NIRA	DURAHEAT			10'	MEDIUM SHADE TREE
	EAR	9	EACUS RANDOLPHIA	AMERICAN BEECH			10'	SHADE TREE
	TIM	9	TEDITSIA TRIACANTHOS	IMERIA			10'	MEDIUM SHADE TREE
	TIC		TICIA CORDATA	REENS			10'	MEDIUM SHADE TREE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	AR		ACER RUBRUM	DOUGLASS DOGWOOD			10'	SHADE TREE
	ENI		ENETUFA NIRA	DURAHEAT			10'	MEDIUM SHADE TREE
	EAR	9	EACUS RANDOLPHIA	AMERICAN BEECH			10'	SHADE TREE
	TIM	9	TEDITSIA TRIACANTHOS	IMERIA			10'	MEDIUM SHADE TREE
	TIC		TICIA CORDATA	REENS			10'	MEDIUM SHADE TREE

CROWN COVERED AREA

SITE PROJECT AREA 1000000 ROW 33400

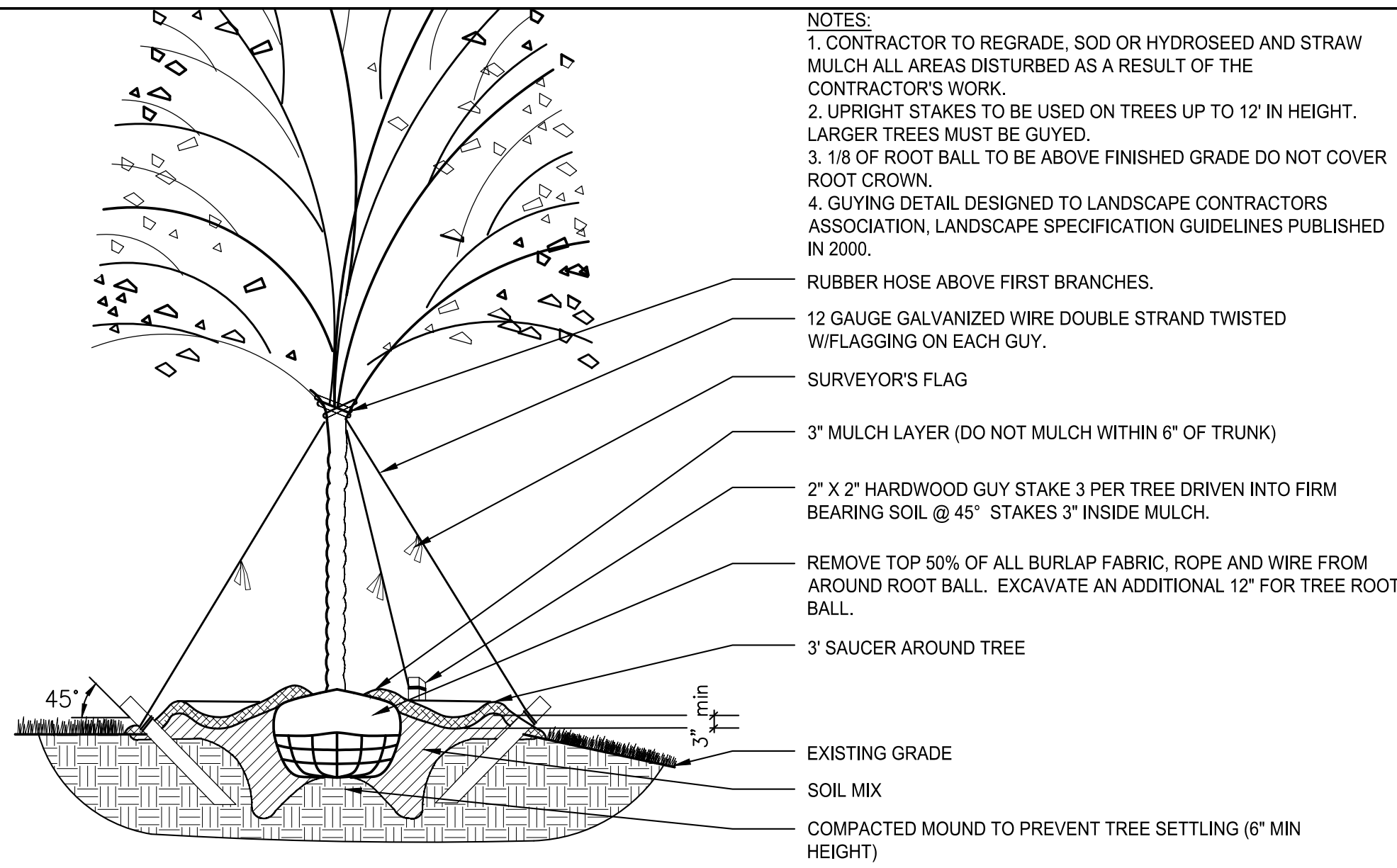
REQUIRED TREE COVERED AREA 33300

PROVIDED TREE COVERED AREA 33300

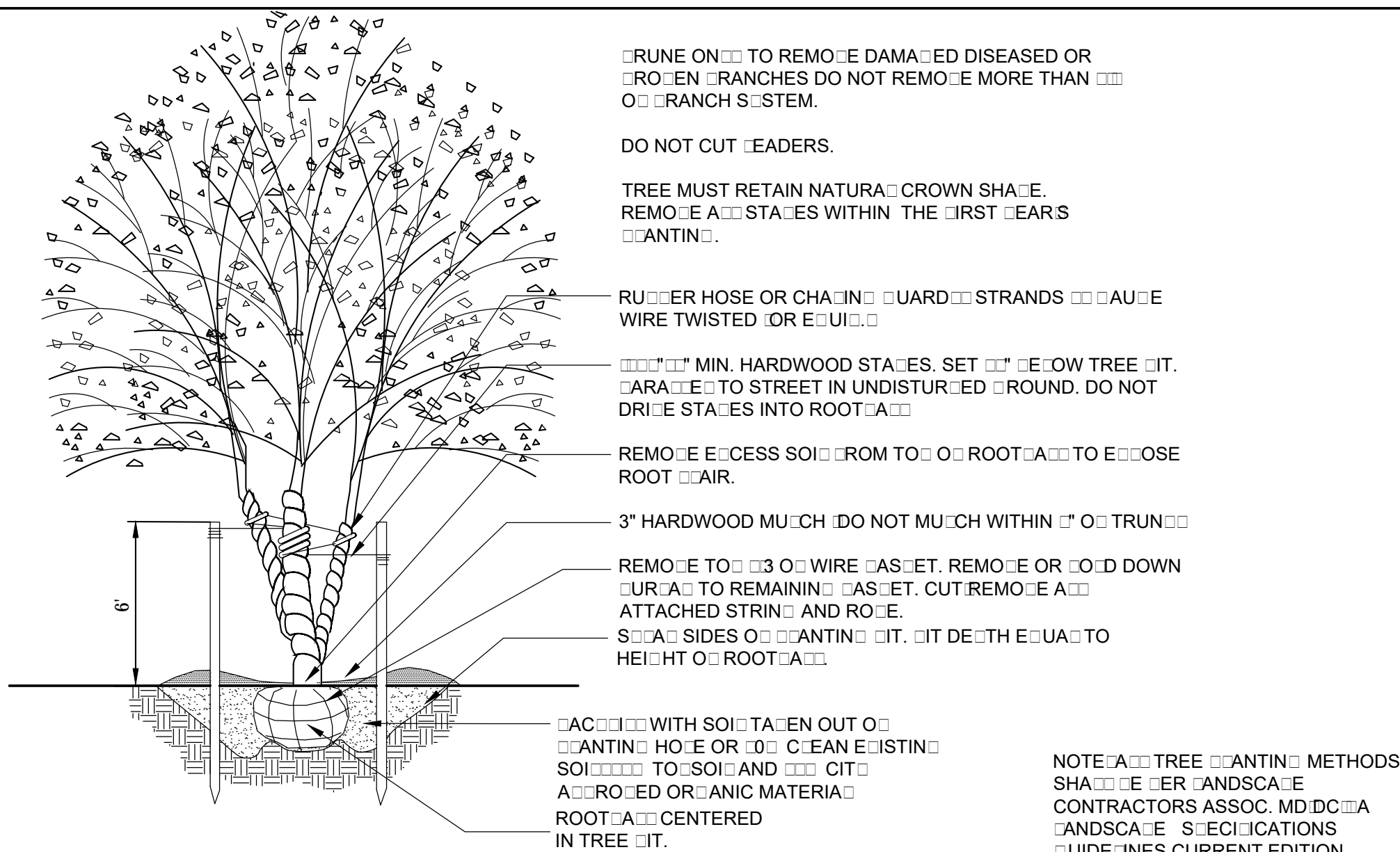
TREE TYPE	QUANTITY	CROWN COVERED AREA	TOTAL SQUARE FOOTAGE	PERCENTAGE OF TREES
STREET TREES WITHIN CURB R.O.W.	0	0	0	0
SHADE TREES	10	1000	1000	3
MEDIUM SHADE TREES	10	1000	1000	3
MEDIUM SHADE TREES (ON STRUCTURE)	10	1000	1000	3
MEDIUM ORNAMENTAL TREES	10	1000	1000	3
SMALL ORNAMENTAL EVERGREEN TREES	10	1000	1000	3
SMALL ORNAMENTAL EVERGREEN TREES (ON STRUCTURE)	10	1000	1000	3
TOTAL CROWN COVERED AREA		49,375 SF		100

NOTES:
1. TREE CROWN COVERED AREA COMPUTATIONS PER LANDSCAPE GUIDELINES: CIT 0.0
2. LANDSCAPE DESIGNER TO PROVIDE SPECIES AND SEASONAL COLOR TO BE DETERMINED.

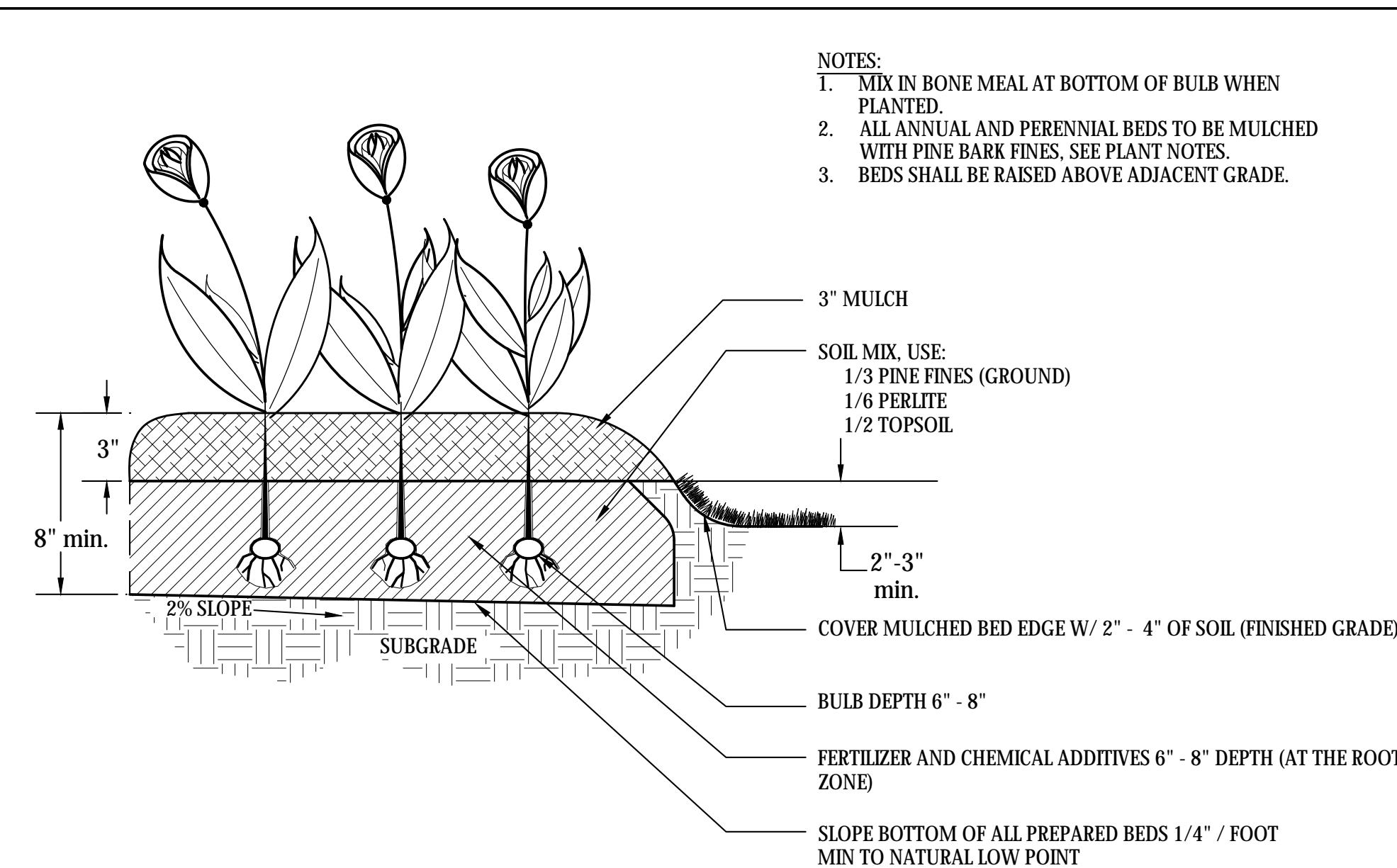
APPROVED
SPECIAL USE PERMIT NO. DSU0000040
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



1 UPRIGHT STAKE METHOD FOR TREE PLANTING 08A-003
L-5.2 SECTION NTS



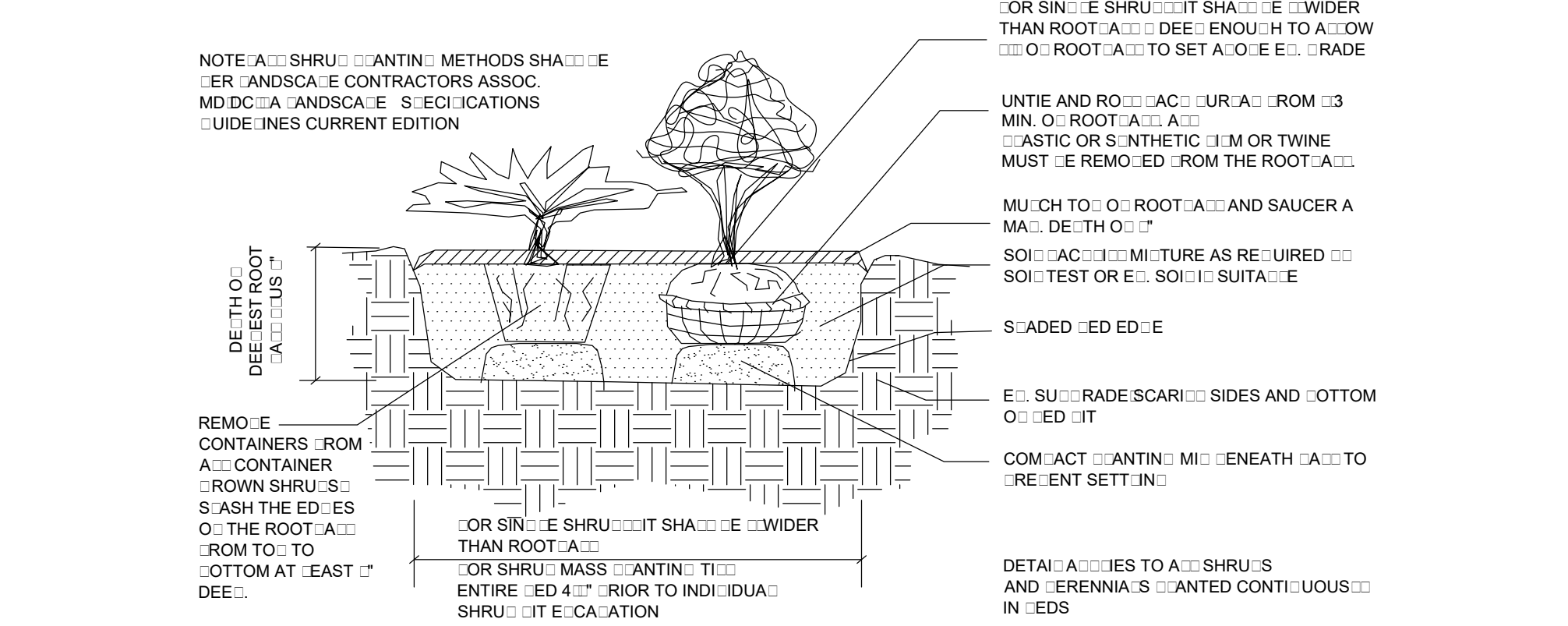
4 MULTI-TRUNK TREE PLANTING 08A-144
L-5.2 SECTION NTS



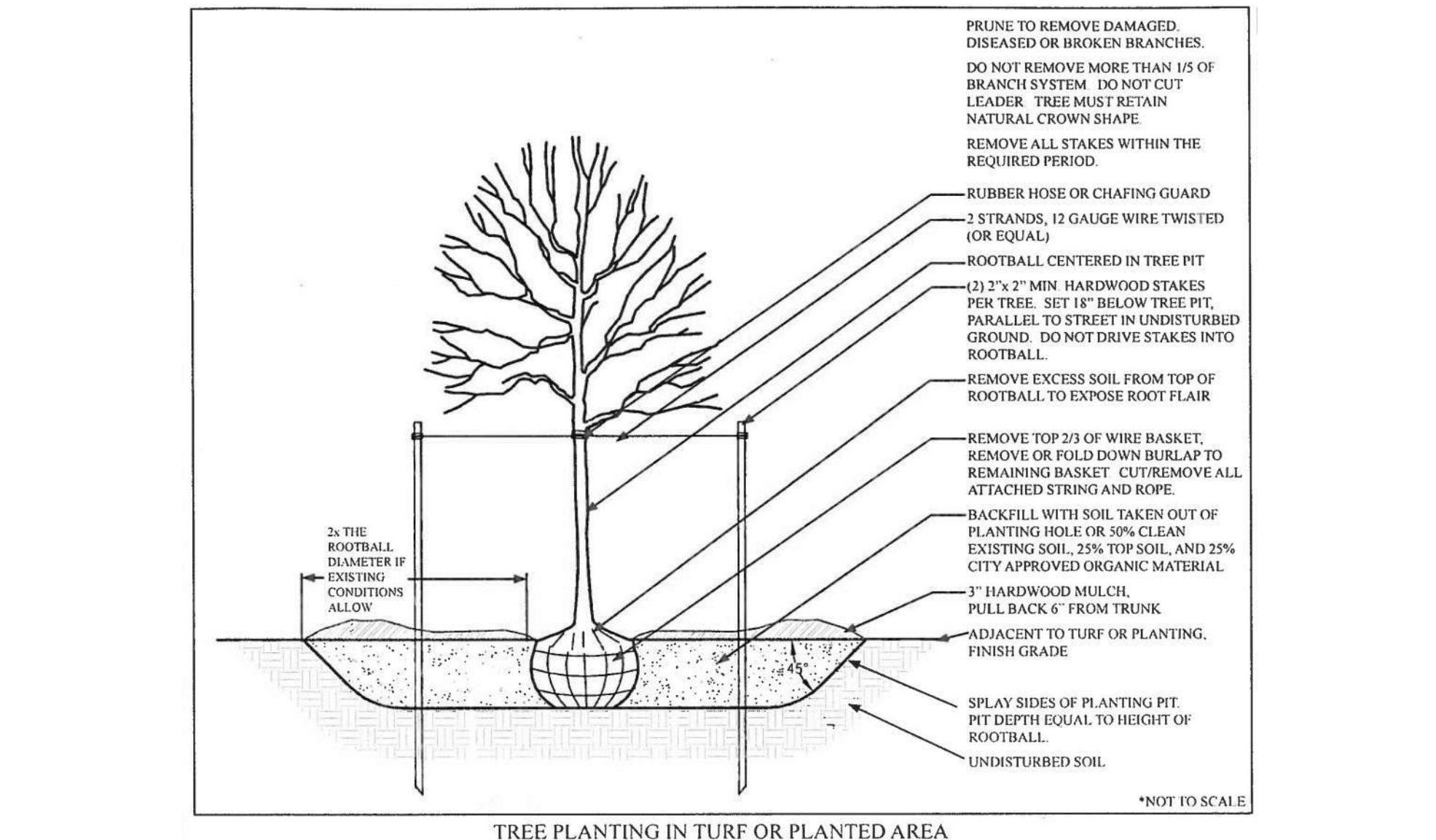
7 PLANTING BED FOR ANNUALS AND PERENNIALS 08A-089
L-5.2 SECTION NTS

PLANT SPACING CHART			
ROWS "A"	SPACING "D"	ROW "A"	PLANTS / S.F.
+	6" O.C.	5.20" O.C.	4.61
+	8" O.C.	6.93" O.C.	2.80
+	10" O.C.	8.66" O.C.	1.86
+	12" O.C.	10.40" O.C.	1.15
+	15" O.C.	13.00" O.C.	0.73
+	18" O.C.	15.60" O.C.	0.51
+	24" O.C.	20.80" O.C.	0.29

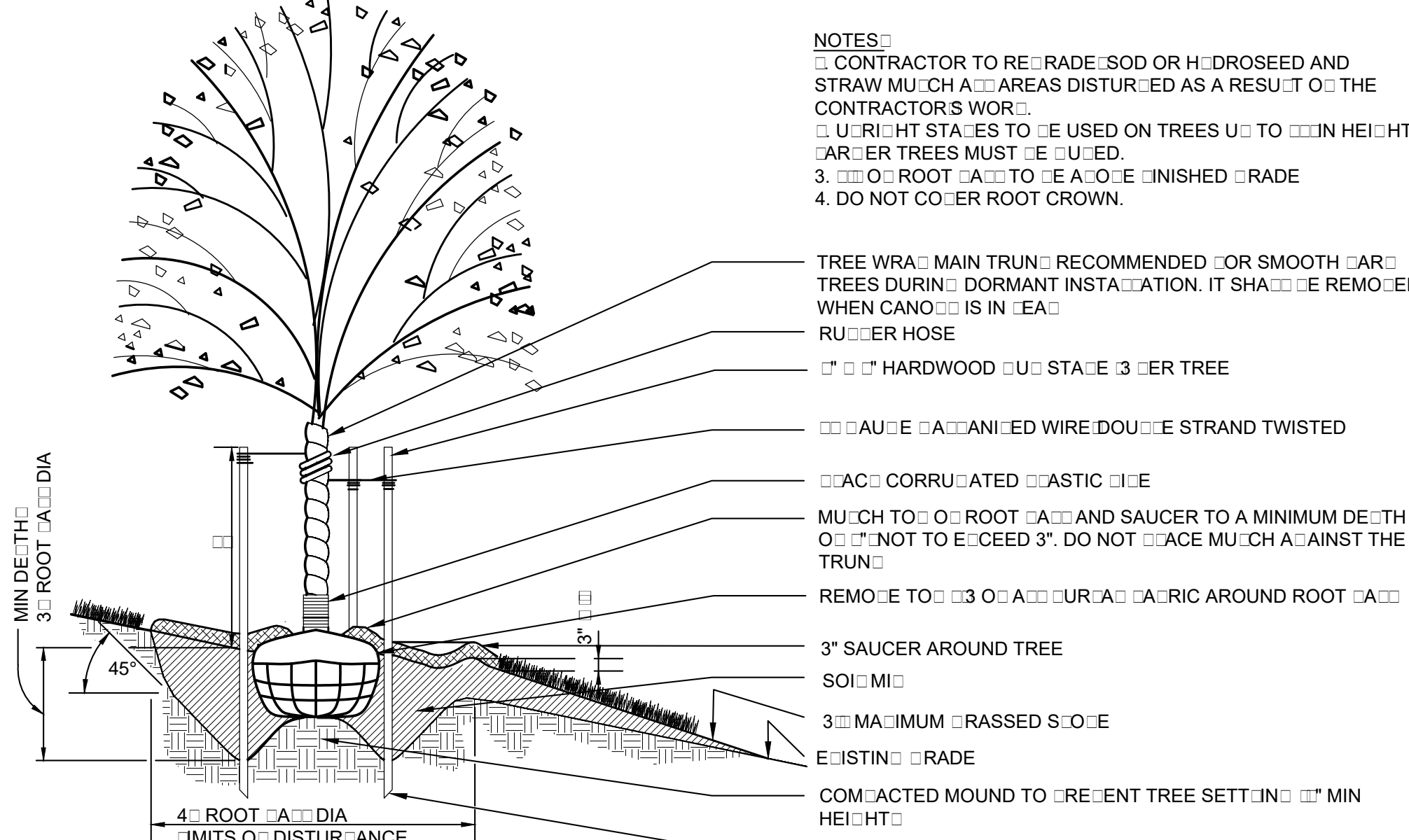
2 TRIANGULAR SPACING FOR SHRUBS AND ROUND CORNERS 08A-233
L-5.2 PLAN N.T.S.



5 SHRUB PLANTING 08A-145
L-5.2 SECTION NTS

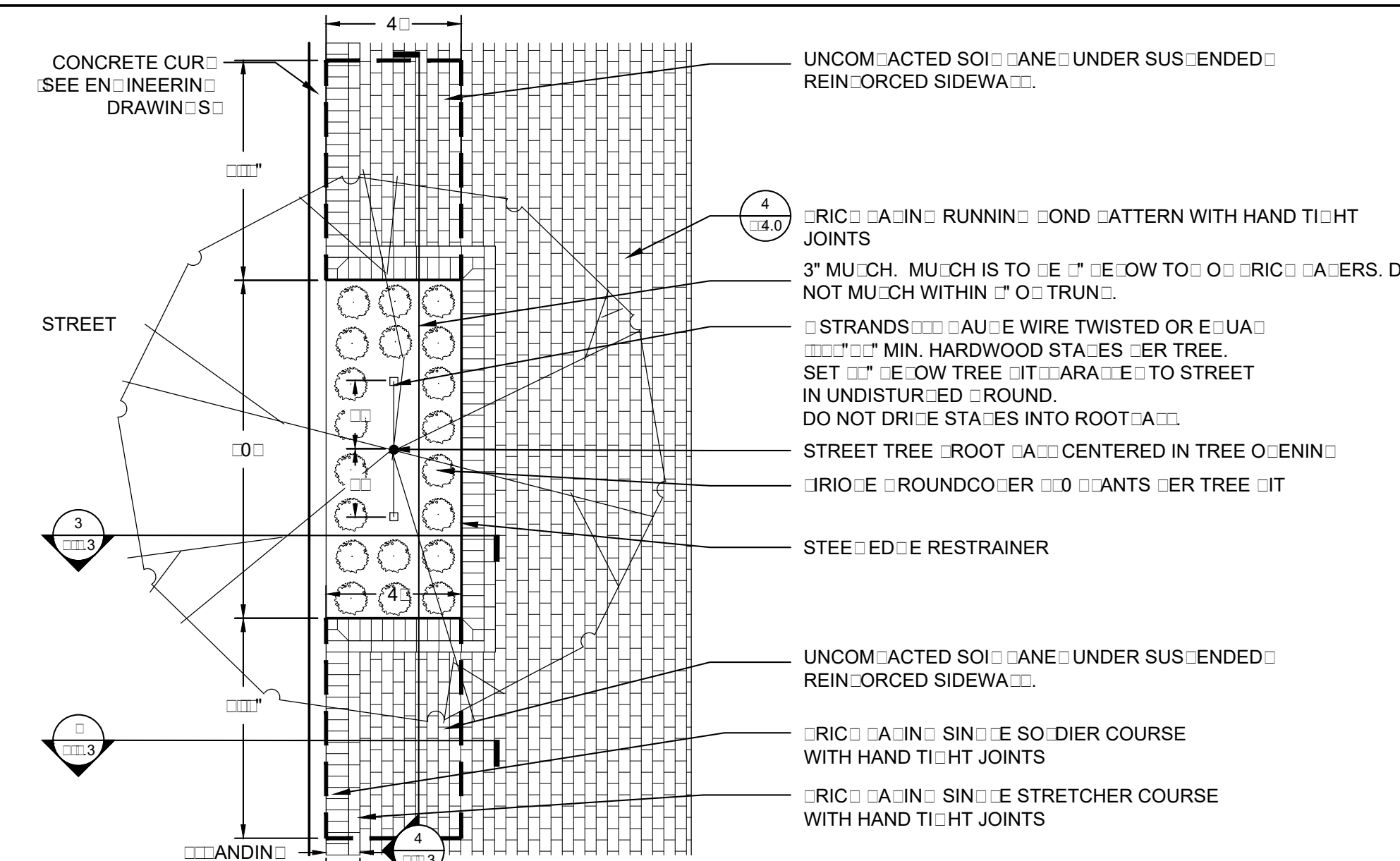


3 TREE PLANTING IN TURF OR PLANTED AREA 08A-152
L-5.2 SECTION NTS

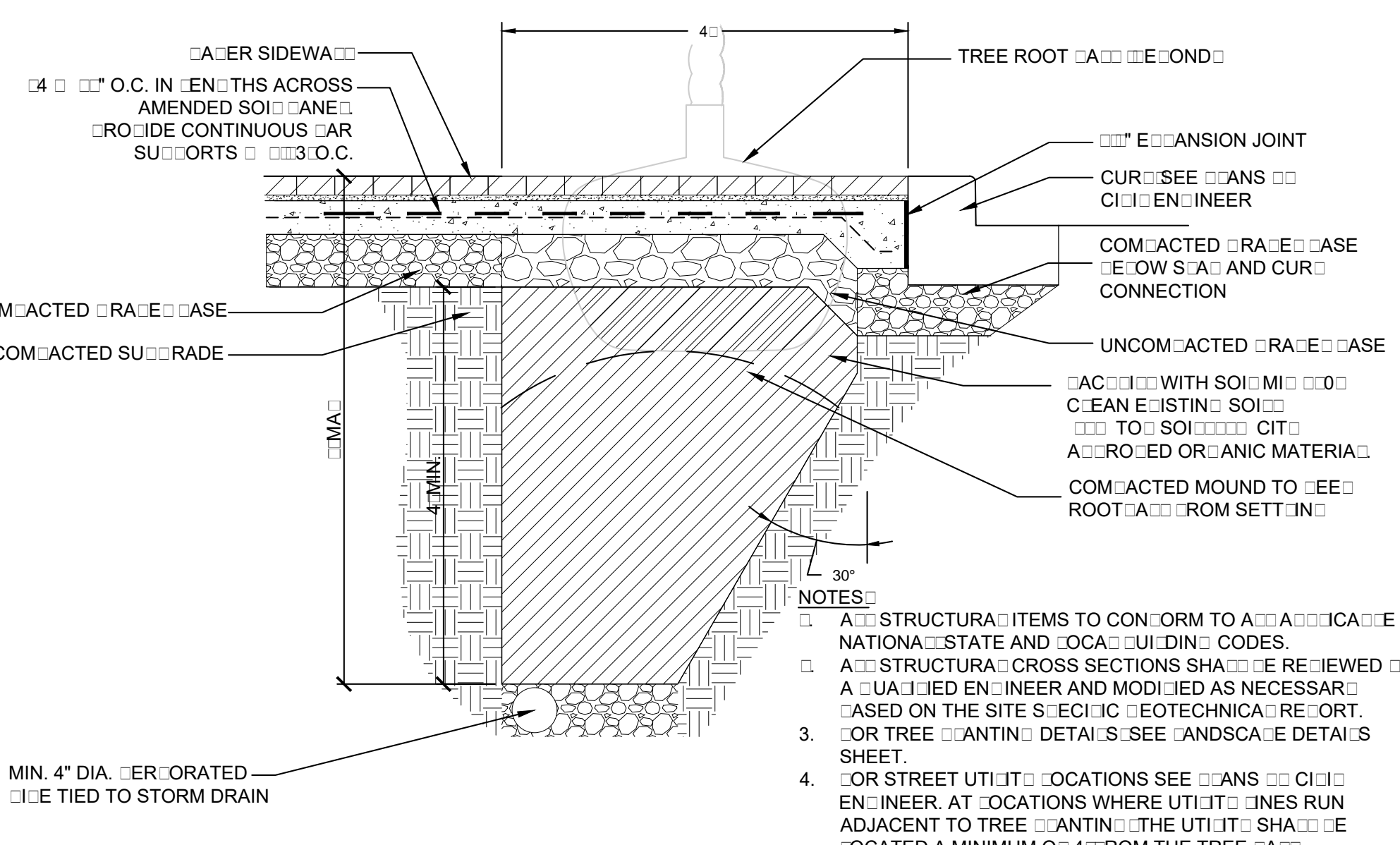


6 TREE PLANTING ON A SLOPE 08A-144
L-5.2 SECTION NTS

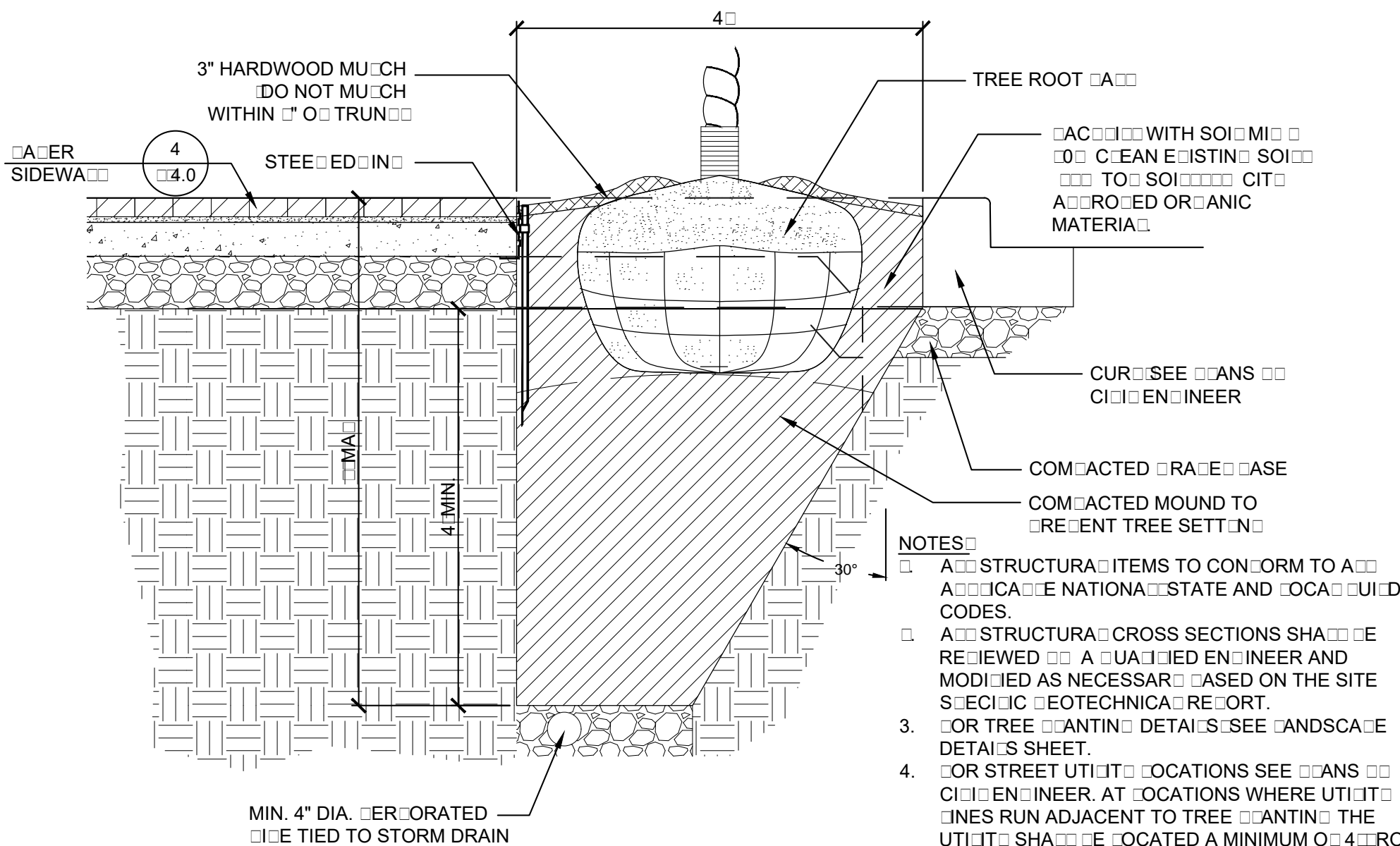
APPROVED SPECIAL USE PERMIT NO. DSU0000040		
DEPARTMENT OF PLANNING & ZONING		
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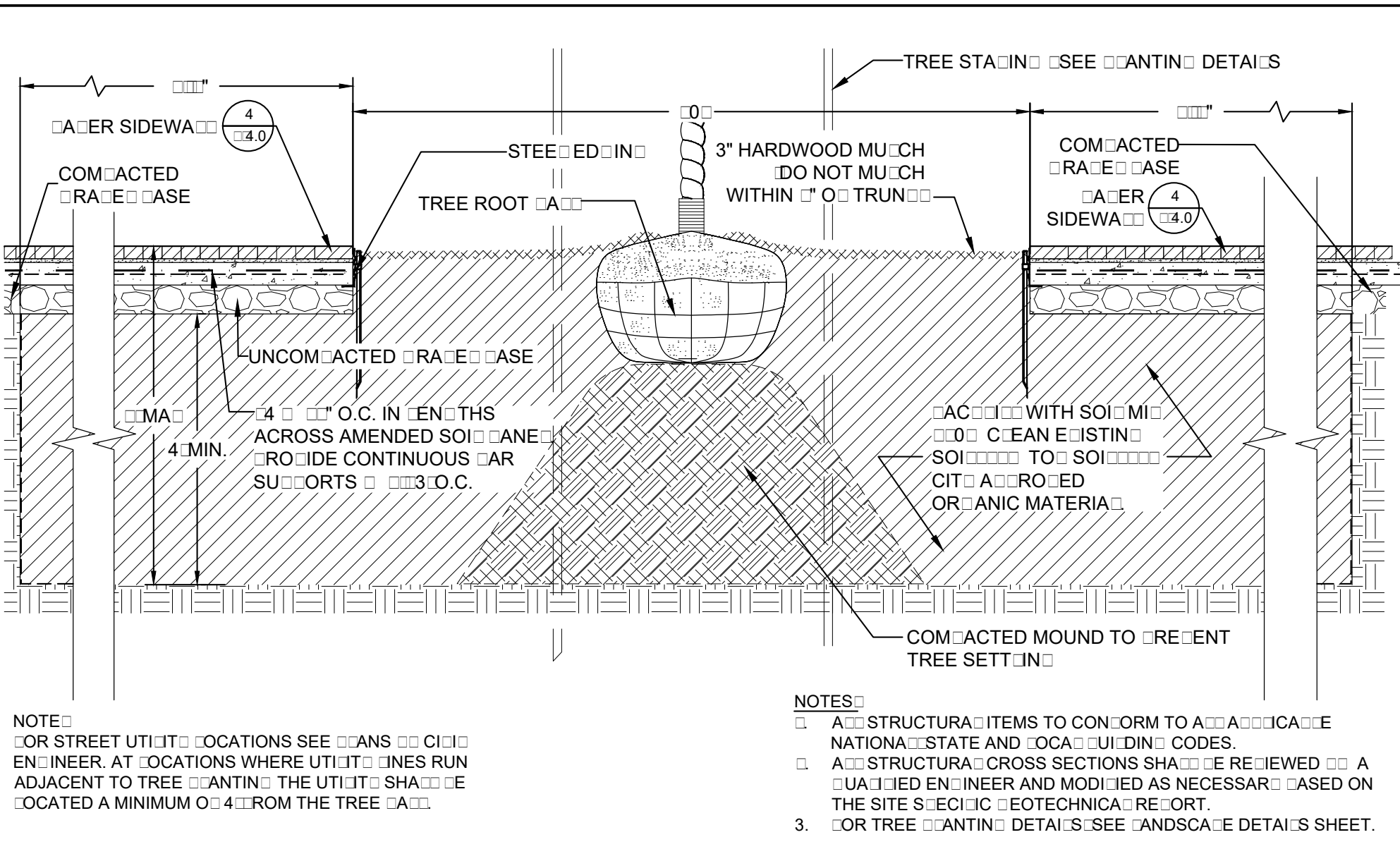
1 TREE PIT ADJACENT TO CURBED SIDEWALK
L-5.3 SECTION 3/4" = 1'-0"



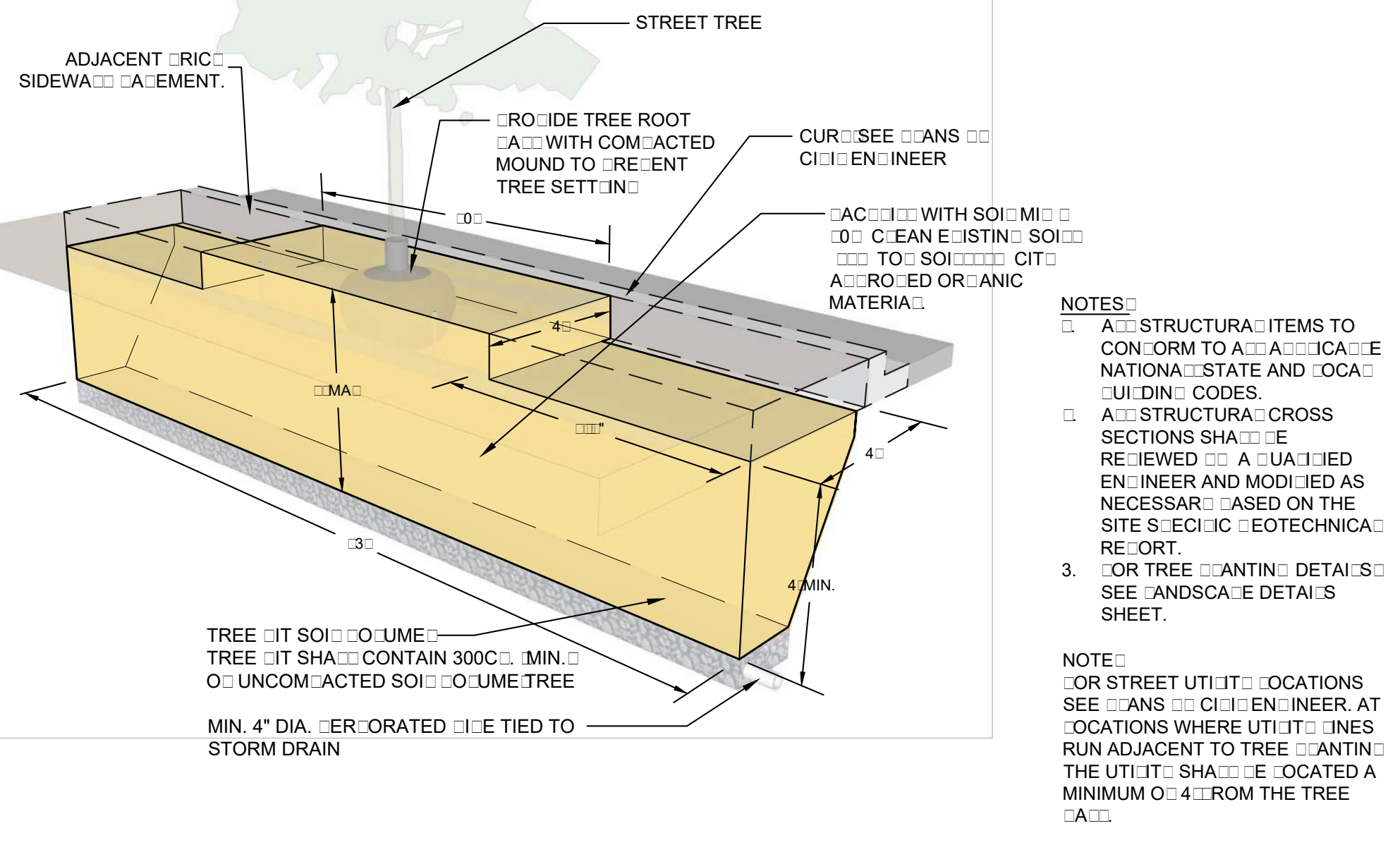
2 TREE PIT SECTION AT CURBED SIDEWALK
L-5.3 SECTION 3/4" = 1'-0"



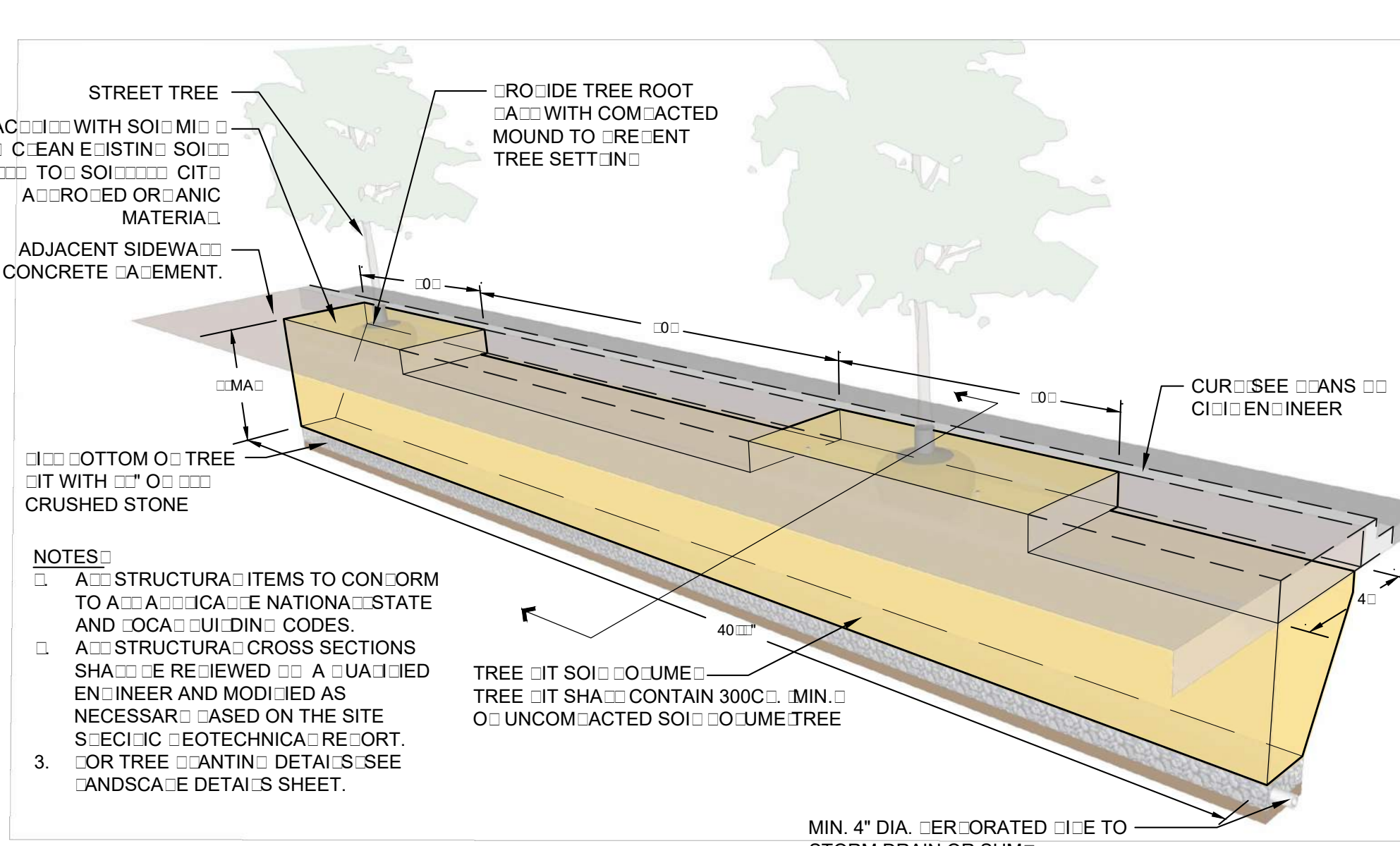
3 TREE PIT SECTION AT PLANTING AREA
L-5.3 SECTION 3/4" = 1'-0"



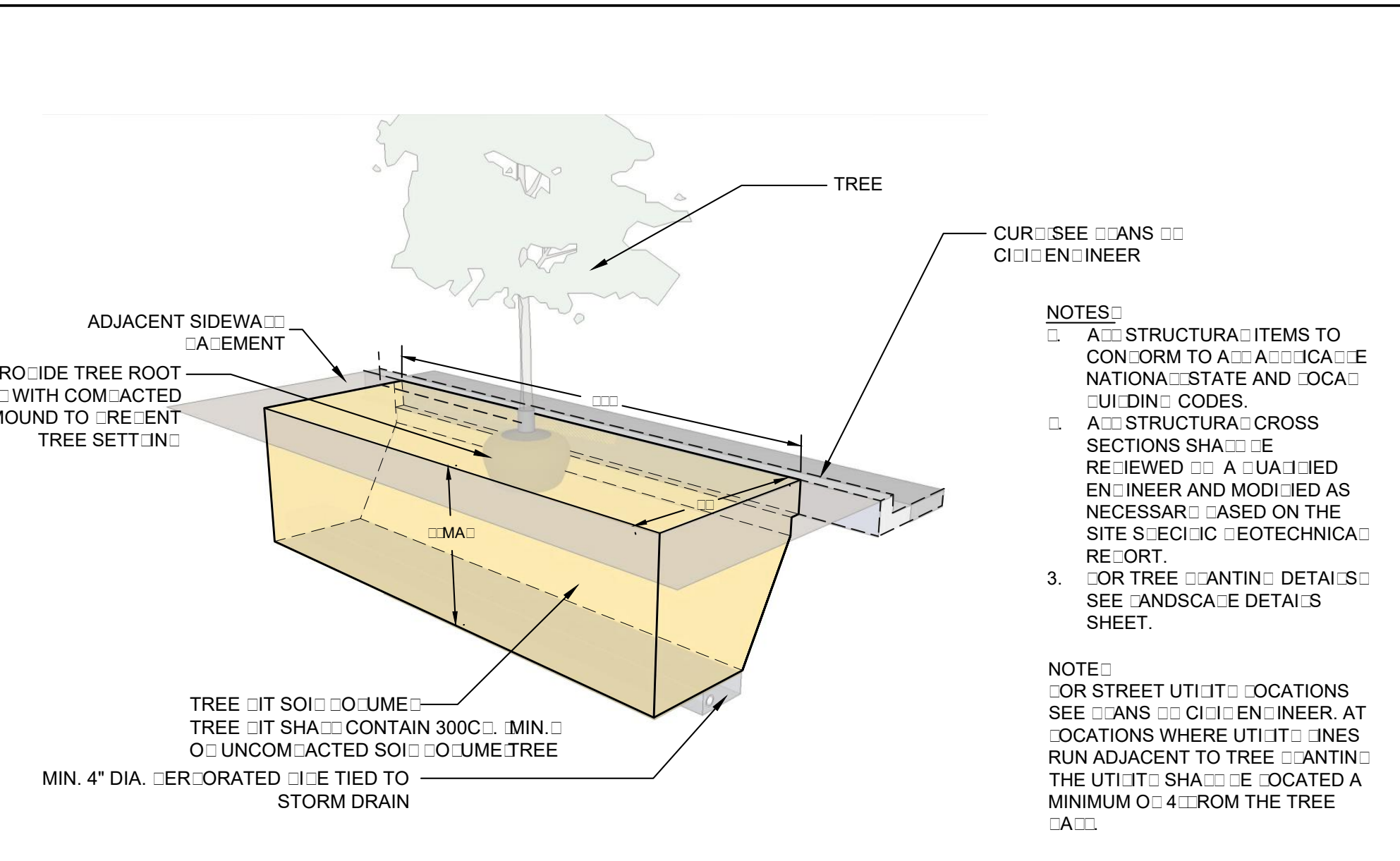
4 TREE PIT ADJACENT TO CURBED SIDEWALK
L-5.3 SCHEMATIC SECTION 3/4" = 1'-0"



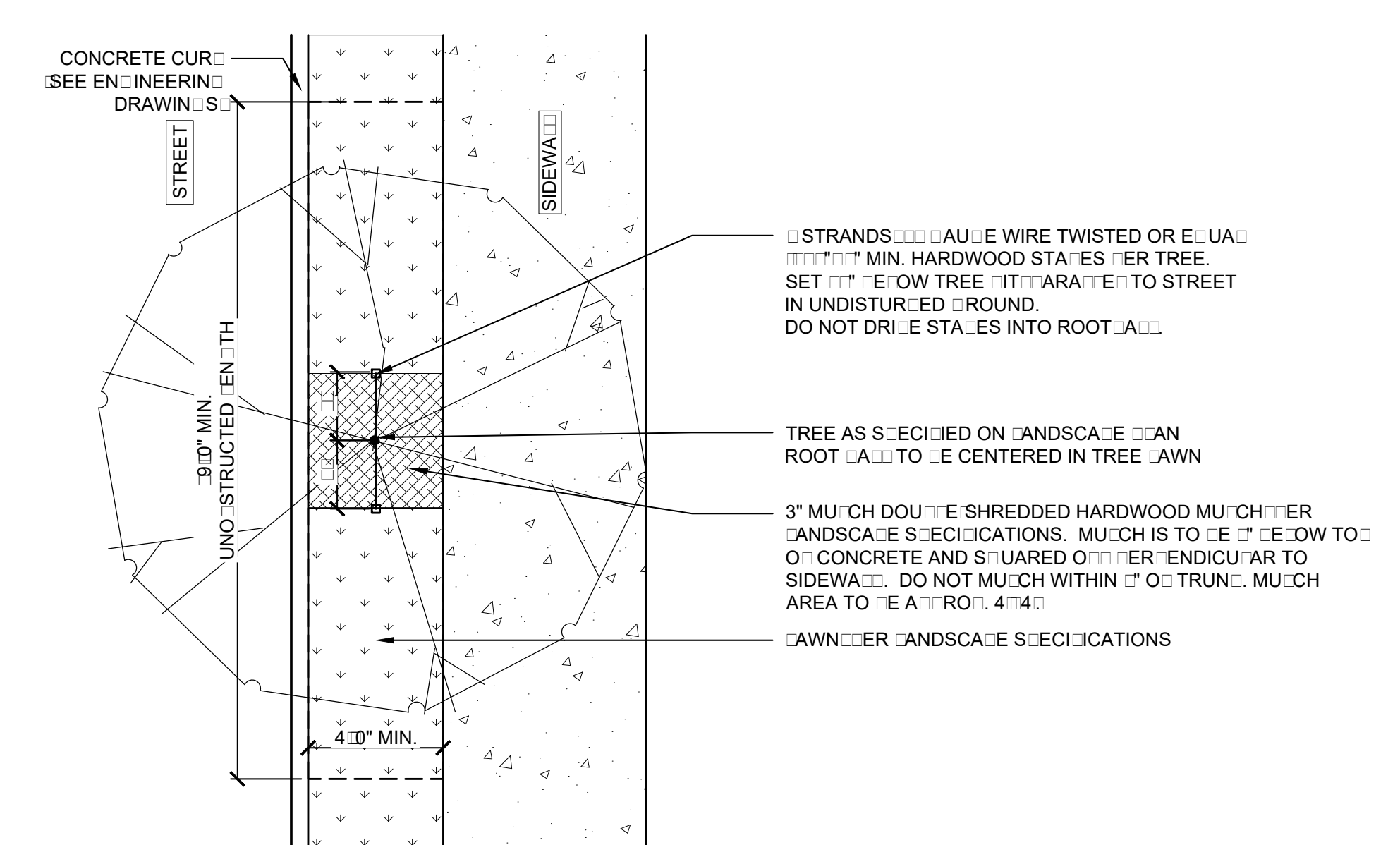
5 TREE PIT ADJACENT TO SIDEWALK AT INTERSECTION
L-5.3 PERSPECTIVE SECTION 3/4" = 1'-0"



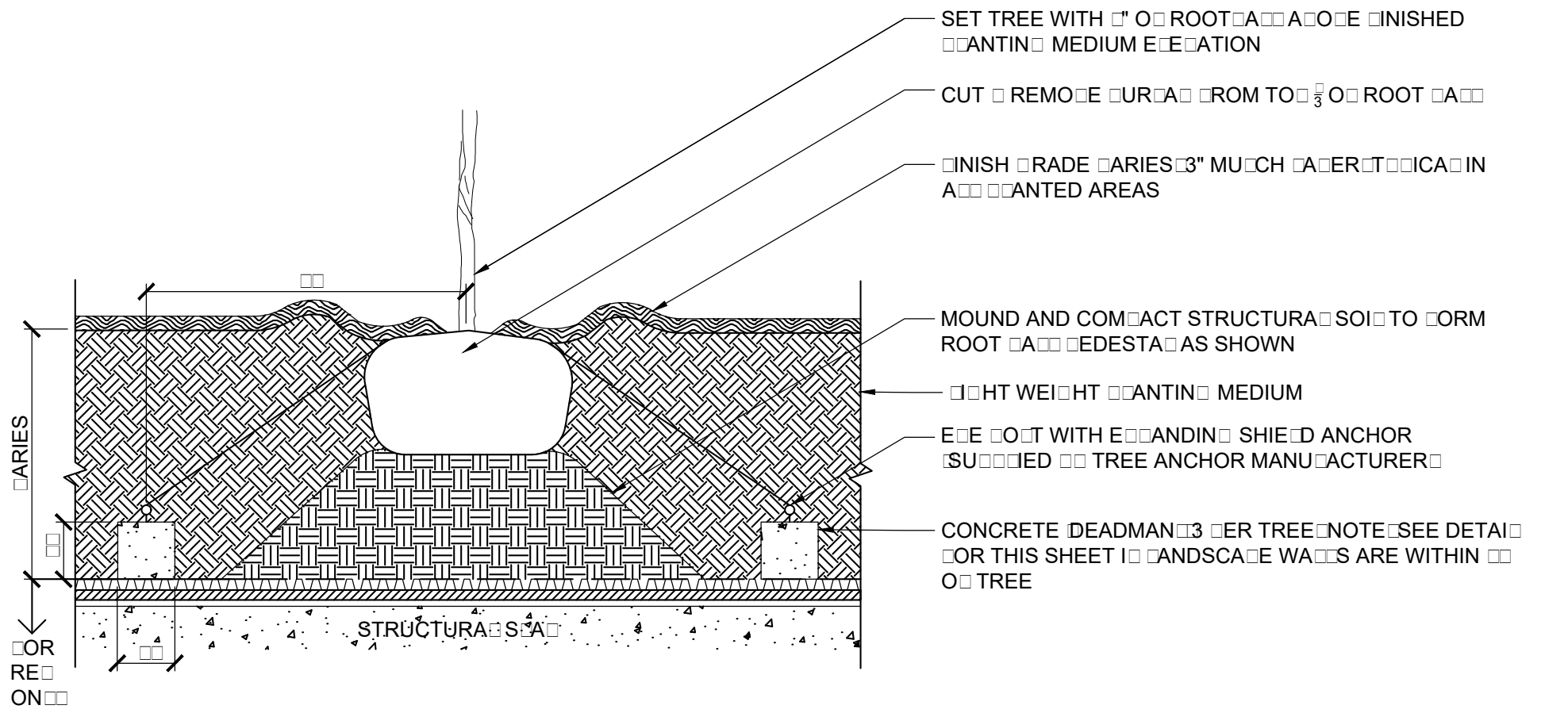
6 TREE PIT ADJACENT TO SIDEWALK AT COMBINED
L-5.3 PERSPECTIVE SECTION 3/4" = 1'-0"



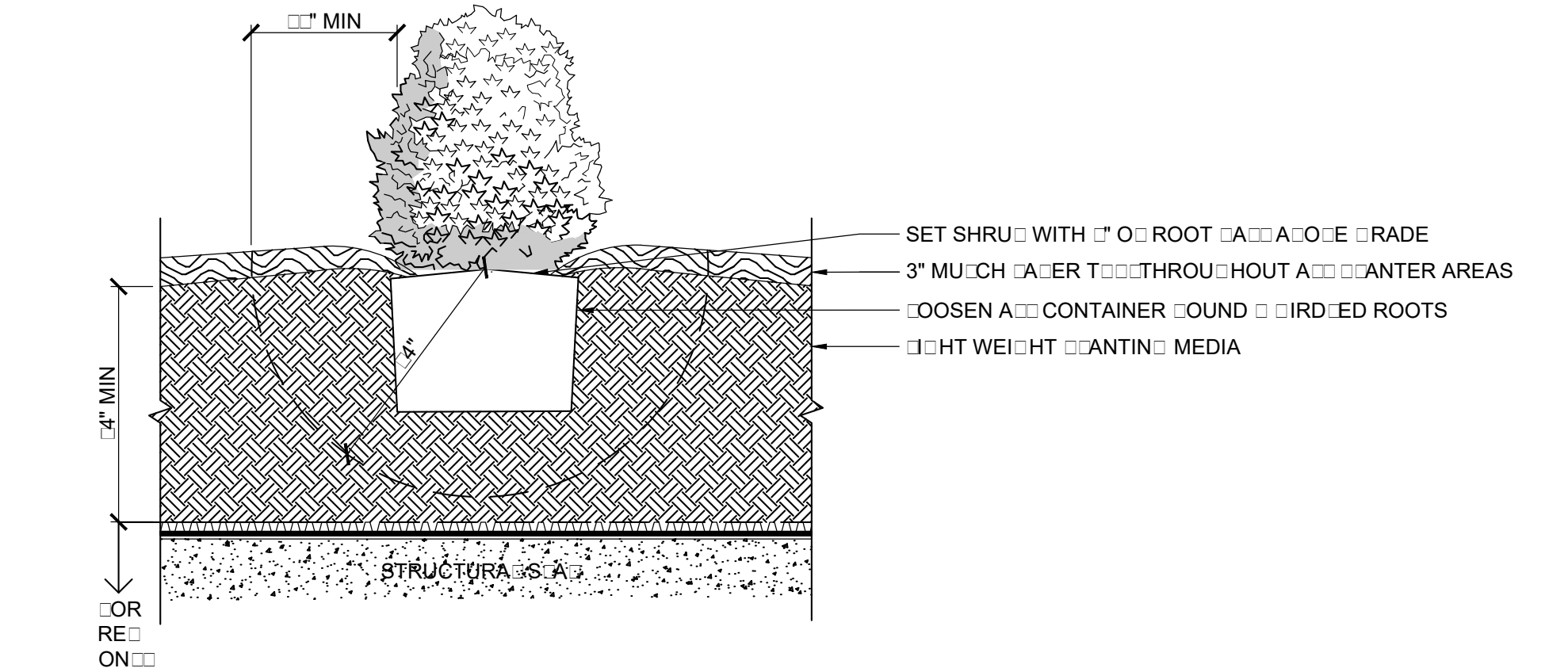
7 TREE PIT ADJACENT TO SIDEWALK AT PLANTING AREA
L-5.3 PERSPECTIVE SECTION 3/4" = 1'-0"



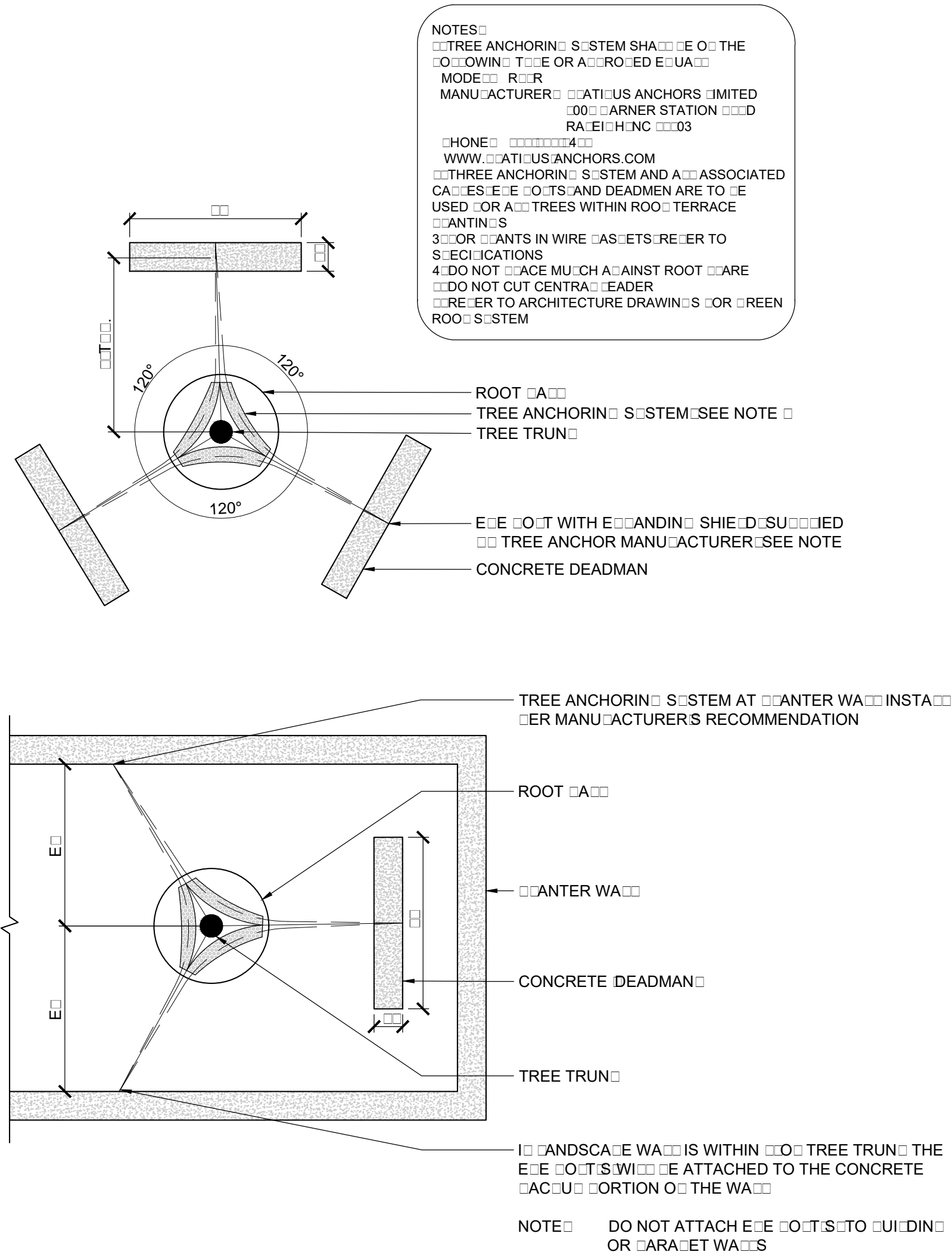
8 TREE STRIP AT PLANTING AREA
L-5.3 SECTION 3/4" = 1'-0"



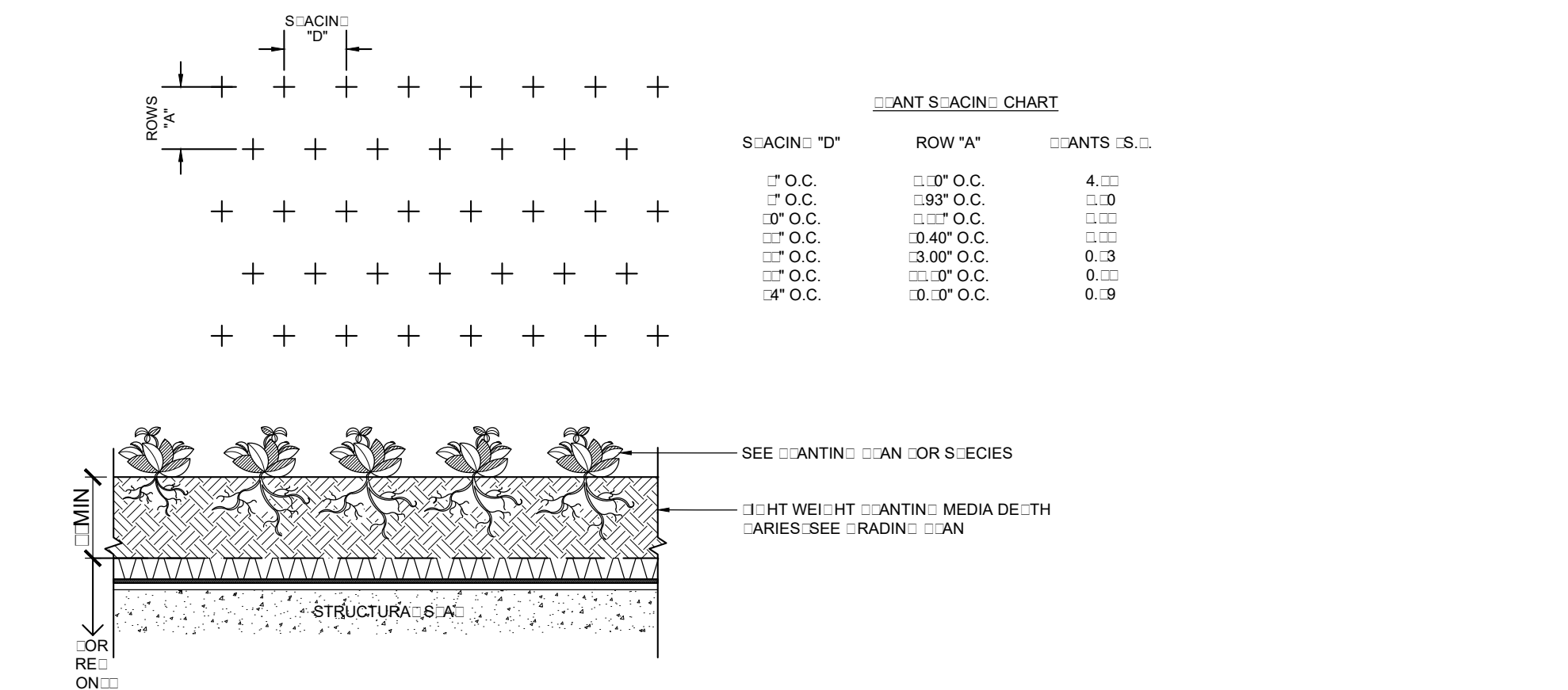
1 TREE ANCHOR ON STRUCTURE
 L-5.4 SECTION 3" x 10"



3 SHRUB ANCHOR ON STRUCTURE
 L-5.4 SECTION 3" x 10"



2 TREE STAIN ON STRUCTURE
 L-5.4 PLAN 4" x 10"



4 ROUND CORNER ANCHOR ON STRUCTURE
 L-5.4 SECTION 3/4" x 10"

NOTES:
 1. TREE ANCHORING SYSTEM SHALL BE ONE OF THE FOLLOWING: TYPE OR APPROVED EQUIVALENT MODELS.
 2. MANUFACTURER'S RATINGS: LIMITED TO 100 LBS. PER ANCHOR STATION.
 3. HONE: 1/4\"/>

ANCHOR SACING CHART		
SACING: "D"	ROW "A"	ANCHORS: S.S.
1" O.C.	12" O.C.	4
2" O.C.	12" O.C.	10
3" O.C.	12" O.C.	16
4" O.C.	12" O.C.	25
5" O.C.	12" O.C.	36
6" O.C.	12" O.C.	49
8" O.C.	12" O.C.	64
10" O.C.	12" O.C.	81

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